

Addendum No. 1
Four Rivers Sanitation Authority
Maintenance Building Renovation
Capital Project No. 2102

This Addendum Number 1, dated July 17, 2026, for the above-referenced project, supersedes all contrary and conflicting information in the specifications and contract documents, which are hereby supplemented or revised as follows:

BIDDING REQUIREMENTS AND CONTRACT FORMS REVISIONS

Table of Contents

REMOVE entirety of Table of Contents and REPLACE with the attached revised Table of Contents.

Section I Bidding Requirements, Subsection A, Notice to Bidders

Notice to Bidders, first paragraph, REMOVE in its entirety and replace as follows:

The Four Rivers Sanitation Authority (FRSA) will receive signed and sealed bids for the Maintenance Building Renovation, Capital Project No. 2102, at the Steve Graceffa Administration Building (Administration Building) at 3501 Kishwaukee Street, Rockford, Illinois until **2:00 p.m. on Tuesday, July 21, 2026** at which time and place responsive / responsible bids will be publicly opened and read aloud.

Section I Bidding Requirements, Subsection C, Contract Forms, Item 1, Proposal

REMOVE entirety of Proposal and REPLACE with the attached revised Proposal. The revised Proposal includes two options for Alternates A-1 and A-2 and Temporary Heating under Unit Prices.

Section II Project Manual, Subsection A, Division 00 – Procurement and Contracting Requirements, Item 00 1113, Advertisement for Bids

REMOVE Advertisement for Bids. This change eliminates conflicts with Section I documents.

Section II Project Manual, Subsection A, Division 00 – Procurement and Contracting Requirements, Item 00 2113, Instructions to Bidders

REMOVE Instructions to Bidders. This change eliminates conflicts with Section I documents. Note that Section I, Bidding Requirements, Subsection B, Instructions to Bidders supersedes all information in Section II, Project Manual, Subsection A, Division 00 – Procurement and Contracting Requirements, Item AIA A701 Instructions to Bidders.

Section II Project Manual, Subsection B, Specifications, Division 01 – General Requirements

INSERT 01 5100 Temporary Utilities, attached, which provides requirements for temporary heating.

CONSTRUCTION PLAN SET REVISIONS

Plan Sheet A103 Roof Plan: DELETE Sheet A103 in its entirety and REPLACE with the attached revised sheet which clarifies requirements for new pre-finished metal trim piece at areas gutters are demolished.

Plan Sheet A201 Exterior Building Elevations: DELETE Sheet A201 in its entirety and REPLACE with the attached revised sheet which clarifies Alternates and provides updated painting specifications.

Plan Sheet A401 Reflected Ceiling Plan First Floor: DELETE Sheet A401 in its entirety and REPLACE with the attached revised sheet which notes requirements for relocating existing concealed sprinkler heads.

Plan Sheet A402 Reflected Ceiling Plan Second Floor: DELETE Sheet A402 in its entirety and REPLACE with the attached revised sheet which notes requirements for relocating existing concealed sprinkler heads.

Plan Sheet A501 Details: DELETE Sheet A501 in its entirety and REPLACE with the attached revised sheet which clarifies Alternates and EIFS Options One and Two and corrects steel stud sizes.

Plan Sheet A502 Details: DELETE Sheet A502 in its entirety and REPLACE with the attached revised sheet which adds an EIFS jamb detail.

Plan Sheet A601 Roof Details – New Work: DELETE Sheet A601 in its entirety and REPLACE with the attached sheet which clarifies requirements for wood blocking on the eave and gutter details.

Plan Sheet E-300 Electrical First Floor Plan: DELETE Sheet E-300 in its entirety and REPLACE with the attached sheet which shows relocated panel LP-16C-3.

GENERAL INFORMATION

Pre-Bid Meeting Minutes

- The meeting minutes of the mandatory pre-bid meeting held July 9, 2026, are attached to this Addendum No. 1.

Asbestos Testing

- The existing mudded duct insulation at the fittings was tested for asbestos. Two samples were tested. Both samples were found to be asbestos free. The samples were taken from the Second Floor Mechanical Room.

QUESTIONS

General:

Q: The specified paint, with epoxy primer and polyurethane gloss finish coat is the wrong product for the application. Can the paint be changed to an acrylic-based product?

A: The paint specifications were changed to an acrylic primer and semi-gloss acrylic finish coat as part of Addendum No.1. See updated Sheet A201.

Meeting:

Q: There is a conflict between the FRSA's and Blakemore's Instructions to Bidders form. For Evidence of Qualifications, Blakemore's form states that bidders "may be requested to submit written evidence of financial position", whereas the FRSA form requires that evidence of financial position be supplied. Should the contractor submit the evidence with the bid documents?

A: The Blakemore form, Section II Project Manual, Subsection A, Division 00 – Procurement and Contracting Requirements, Item 00 2113, Instructions to Bidders has been removed from the Bid Documents as part of Addendum No.1. Reference Section I, Bidding Requirements, Subsection B, Instructions to Bidders. Note that Instructions to Bidders supersedes all information included in AIA A701 Instructions to Bidders.

Q: Per Instructions to Bidders, Paragraph 3.12.2 Insurance, Contractor shall purchase and maintain builder's risk insurance utilizing an "All Risk" coverage form. Is this the responsibility of the Owner or Contractor?

A: Builder's risk insurance is the responsibility of the Contractor. The existing building is valued at \$8,500,000.00.

Q: For site work, will temporary barrier fencing be required around the work area?

A: The FRSA plant in which the project is located is a secure site. Any additional fencing or barricades deemed necessary by FRSA will be provided by FRSA. Any temporary fencing determined necessary by the Contractor shall be provided by the Contractor at his cost.

Q: Will temporary heaters or cooling units be required during construction? Will an allowance be provided for heat during the cold months?

A: Reference Section 01 5100 Temporary Utilities for heating requirements. Reference the updated Proposal form provided in Addendum No.1.

Q: Will there be any interior finishes such as interior painting?

A: Per Sheet A101, the entire vestibule area is to be painted following CMU infill work.

Q: How will the new roof insulation achieve the design R-30 Value?

A: Per Sheet A103, the new system is to be installed over the existing. The existing insulation, accounting for any degradation due to age, is factored into the Total R-Value.

Q: Will concrete floor repair work, such as spall repair, be the responsibility of the epoxy floor installer?

A: The general contractor is to determine which party performs work.

Site Visit:

Q: How will the new gutter system meet the existing metal roof edge? Will demolition of the existing gutters compromise the existing rake?

A: The Contractor shall provide pre-finished metal trim piece to match the profile of the existing rake edge trims at areas where the existing gutters are removed. Install for a watertight condition prior to installation of new gutters. See Sheet A103.

Q: What is the extent of demolition for existing HVAC equipment? Should the power supply be removed all the way back to the panel or can it be taken to the nearest safe junction box?

A: It is recommended that the power supply shall be removed back to the panel.

Q: Does refrigeration piping get covered where it is exposed at exterior?

A: Yes. All refrigeration piping should be insulated. Reference Mechanical Specifications, Sheet M-100, 18.0-18.1. No covering is required.

Q: What is the intended route for power to the condensing units?

A: The panel location has been modified, moving LP-16C-3 to an interior location. The panel feeders shall avoid the existing Stair. See updated Sheet E-300.

Q: Will FRSA drain and dispose of the hydraulic oil from the existing lift before demolition?

A: Yes, FRSA will drain and dispose of the oil.

Q: Will the new FRSA mobile lift damage the proposed epoxy floor? Are the wheels steel?

A: The new lift will have rubber coated steel wheels. No damage is expected.

Q: Will the contractors be given space inside the Maintenance Building for field offices? Will the contractors be allowed to use the FRSA bathrooms?

A: Contractors are not allowed to utilize the Maintenance Building for field offices. Space north of the AGS facility will be provided for construction trailer parking. Power is available at this location. A conference area can be provided by FRSA for project meetings. Contractor should provide their own sanitary facilities.

Q: The existing angle in which the metal siding panels are mounted to appear rusted and deteriorated. Should the angle be demolished? Demolition would require HMA pavement removal in some locations.

A: Under Alternate Bid A-1, existing metal siding and base flashing to be removed for new EIFS belt-course. Reference sheet D201. There are several locations where the existing angle is covered in HMA pavement. For these locations, pavement will need to be sawcut and removed to fully demolish the angle. This work is incidental to the metal siding demolition.

This information shall be taken into consideration when preparing your proposal. Respondents shall acknowledge all project addenda. This addendum will be emailed to all plan holders as well as posted to FRSA's website at fourrivers.illinois.gov.

End of Addendum No. 1

Issued July 17, 2026

Four Rivers Sanitation Authority



Matthew L. Campbell, PE
Director of Engineering

<I:\District Projects\HVAC Upgrades Maintenance Building 2102\04 Bidding\Addenda\27-406 Addendum 1.docx>

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B. Instructions to Bidders

- 1 General
- 2 Legal Requirements
- 3 General Instructions

C. Contract Forms

- 1 Proposal
- 2 Proposed Subcontractor Form
- 3 Fair Employment Practices Affidavit of Compliance
- 4 Affidavit of Compliance: Responsible Bidder Ordinance
- 5 Bid Bond
- 6 Agreement
- 7 Labor & Material Payment Bond
- 8 Performance Bond

II. Project Manual

A. Division 00 – Procurement and Contracting Requirements

- | | |
|----------|---|
| 00 0101 | Project Title Page |
| 00 0102 | Project Information |
| AIA A701 | Instructions to Bidders |
| 00 7200 | General Conditions |
| AIA A201 | General Conditions of the Contract for Construction |
| 00 7301 | Supplementary Conditions of the Contract for Construction |

B. Specifications

Division 01 – General Requirements

- | | |
|---------|--------------------------------------|
| 01 1000 | Summary |
| 01 2000 | Price and Payment Procedures |
| 01 2500 | Substitution Procedures |
| 01 3000 | Administrative Requirements |
| 01 3216 | Construction Progress Schedule |
| 01 4000 | Quality Requirements |
| 01 5000 | Temporary Facilities and Controls |
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| 01 6000 | Product Requirements |
| 01 7000 | Executions and Closeout Requirements |
| 01 7800 | Closeout Submittals |

Division 02 – Existing Conditions

02 4100 Demolition

Division 05 – Metals

05 4000 Cold-Formed Metal Framing

Division 06 – Wood, Plastics, and Composites

06 1000 Rough Carpentry

Division 07 – Thermal and Moisture Protection

07 2100 Thermal Insulation

07 2400 Exterior Insulation and Finish System

07 5400 Thermoplastic Membrane Roofing

07 6200 Sheet Metal Flashing and Trim

07 9005 Joint Sealers

Division 08 – Openings

08 4413 Storefront Window System

08 8000 Glazing

Division 09 – Finishes

09 5100 Acoustical Ceilings

Division 12 – Furnishings

12 2400 Window Shades

**III. Four Rivers Sanitation Authority Special Provisions for
Civil Site Improvements**

- | | |
|----|--|
| 1 | Aggregate Base Course, Type B |
| 2 | Bollard Removal |
| 3 | Bollards |
| 4 | Class D Patches |
| 5 | Combination Concrete Curb & Gutter |
| 6 | Curb, Gutter, or Combination Curb & Gutter Removal |
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| 8 | Portland Cement Concrete Sidewalk |
| 9 | River Rock |
| 10 | Sidewalk Removal |
| 11 | Storm Sewer Removal |
| 12 | Storm Sewers, PVC |

**IV. General Provisions and Technical Specifications for Sanitary Sewer
Construction (separate document incorporated by reference)**

Proposal

Project: Maintenance Building Renovation, Capital Project No. 2102

Location: 3333 Kishwaukee Street, Rockford, Illinois, FRSA Maintenance Building (Building No. 8)

Completion Date: January 15, 2027.

Liquidated Damages: \$300 per calendar day.

To: Board of Trustees
Four Rivers Sanitation Authority
3501 Kishwaukee Street
Rockford, IL 61109

From: _____
(Individual, Partnership or Corporation, as case may be)

(Address of Individual, Partnership or Corporation)

I (We), the undersigned, hereby propose to furnish all materials, equipment, tools, services, labor, and whatever else may be required to construct and place in service the above subject building renovation for Four Rivers Sanitation Authority all in accordance with the plans and specifications, provided by Four Rivers Sanitation Authority (FRSA). The undersigned also affirms and declares:

1. That I (we), have, examined and am (are) familiar with all the related contract documents and found that they are accurate and complete and are approved by the undersigned.
2. That I (we), have carefully examined the site of the work, and that, from my (our) investigation, has satisfied myself (ourselves) as to the nature and location of the work, the character, quality, and quantity of materials and the kind and extent of equipment and other facilities needed for the performance of the work, the general and local conditions and all difficulties to be encountered, and all other items which may, in any way, effect the work or its performance.
3. That this bid is made without any understanding, agreement or connection with any other person, firm, or corporation making a bid for the same purposes, and is in all respects fair and without collusion or fraud; and that I (we) are not barred from bidding as a result of a bid-rigging or bid-rotating conviction.
4. That accompanying the Proposal is a Bidder's Bond in the amount specified in Notice to Bidders, payable to the Board of Trustees of Four Rivers Sanitation Authority, which it is agreed, shall be retained as liquidated damages by said Four Rivers Sanitation Authority if

the undersigned fails to execute the Contract in conformity with the contract documents incorporated in the contract documents and furnish bond as specified, within ten (10) days after notification of the award of the contract to the undersigned.

5. The Bidder is of lawful age and that no other person, firm or corporation has any interest in this Proposal or in the Contract proposed to be entered into.
6. The Bidder is not in arrears to Four Rivers Sanitation Authority, upon debt or contract, and is not a defaulter, as surety or otherwise, upon any obligation to Four Rivers Sanitation Authority.
7. No officer or employee or person whose salary is payable in whole or in part by FRSA is, shall be or become interested, directly or indirectly as a contracting party, partner, stockholder, surety or otherwise, in this Proposal, or in the performance of the Contract, or in the work to which it is relates, or in any portion of the profits thereof.
8. The Bidder which I represent complies with all applicable requirements of the Americans with Disabilities Act (ADA) and the Occupational Safety and Health Act (OSHA) and that if said bidder is awarded a contract, it will complete all OSHA-required or ADA-required employee and customer training, will make available all required information, and will hold harmless and indemnify FRSA and FRSA's representatives.

In regard to participation in an approved Apprenticeship program, upon request, Contractor will be required to provide written proof of participation.

9. The undersigned, as Bidder, declares that he has adopted and promulgated written sexual harassment policies in accordance with Public Act 99-093 and will make this information available upon request.
10. The undersigned, as Bidder, declares he will comply with prevailing wages in accordance with the Illinois Department of Labor Standards. The State of Illinois requires contractors and subcontractors on public works projects (including Four Rivers Sanitation Authority) to submit certified payroll reports via the State's Certified Transcript of Payroll Portal found at: <https://labor.illinois.gov/laws-rules/conmed/certifiedtranscriptofpayroll.html>
11. The undersigned, as Bidder, declares he will comply with the Federal Drug Free Workplace Act.
12. The undersigned, as Bidder, declares he will comply with Public Act 83-1030 entitled "Steel Products Procurement Act".
13. The undersigned, as Bidder, declares he will comply with Public Act 96-929 (30 ILCS 570) regarding Illinois residents' employment.
14. The undersigned, as Bidder, declares he will comply with non-discrimination in employment in accordance with the Illinois Fair Employment Practices Commissions Rules & Regulations.
15. The undersigned, as Bidder, declares that he currently participates in an apprenticeship or training program that is registered with the United States Department of Labor's Bureau of Apprenticeship and Training or other acceptable State of Illinois Department of Labor monitored program.

In submitting this bid, it is understood that the right is reserved by Four Rivers Sanitation Authority to reject any and all bids. It is agreed that this bid may not be withdrawn for a period of sixty (60) days from the opening thereof.

The undersigned further declares that he (they) has (have) carefully examined the following items of work and that the cost of all the work to complete this project is given in this Proposal.

Lump Sum Base Bid Amount

Total Amount of Lump Sum Base Bid, expressed in figures, for providing all materials, equipment, warranty, and labor to complete this project in conformity with all specifications in this Invitation to Bid.

\$ _____

The undersigned acknowledges that he has received Addendum numbers _____, _____, _____, and realizes that all Addenda are considered part of the Contract.

Unit Prices

The following are unit prices, expressed in figures, for specific portions of the work as listed, and are applicable to authorized variations from the Contract documents.

<u>Item Description</u>	<u>Unit</u>	<u>Unit Price</u>
1. Concrete Floor Crack Repair	Linear Foot	\$ _____
2. Concrete Floor Spall Repair	Square Foot	\$ _____
3. Concrete Floor Full Depth Repair	Square Foot	\$ _____
4. Relocate an existing exterior duplex outlet below its current location for a distance of 12" into new EIFS belt-course under Alternate A-1. Patch existing metal siding.	Each	\$ _____
5. Temporary Heating	Calendar Day	\$ _____

Alternates

Alternate A-1:

Work includes: All work associated with furnishing and installing Exterior Insulation and Finish System (EIFS) belt-course, including removal of existing metal siding and base flashing. See Sheets D201 and A201.

Alternate A-1a: Furnish and install EIFS Option One as described in the drawings. See Sheets A501 and A502.

Alternate A-1a: Total Amount \$ _____ (In Figures)

Alternate A-1b: Furnish and install EIFS Option Two as described in the drawings. See Sheets A501 and A502.

Alternate A-1b: Total Amount \$ _____ (In Figures)

Alternate A-2:

Work includes: All work associated with exterior painting of existing metal siding, all existing hollow metal and overhead exterior doors, all associated door frames, and pre-finished metal trim. See Sheet A201.

Alternate A-2a: Furnish and install exterior painting for all areas indicated in Alternate A-2 less the areas indicated for Alternate A-1 (EIFS belt-course).

Alternate A-2a Total Amount \$ _____ (In Figures)

Alternate A-2b: Furnish and install exterior painting for all areas indicated in Alternate A-2.

Alternate A-2b assumes Alternate A-1 (EIFS belt-course) is not constructed.

Alternate A-2b Total Amount \$ _____ (In Figures)

Alternate M-1:

Work includes: All work associated with furnishing and installing heat pump units in lieu of cooling only condensing units. See Sheet M101.

Alternate M-1 Total Amount \$ _____ (In Figures)

Please note: This Project will be awarded, if at all, to a single bidder. Bids will be compared on the total price bid for Base Bid, Lump Sum work plus any combination of Bid Alternates A-1a, A-1b, A-2a, A-2b and M-1. In accordance with Section I, Instructions to Bidders, Parts 3.10 and 3.11, FRSA is responsible for selecting the lowest, responsive, responsible bidders. Bids submitted that omit any Bid Alternate (A-1a, A-1b, A-2a, A-2b, or M-1) may be deemed unresponsive at the sole discretion of FRSA. FRSA reserves the right to reject any and all bids and to accept the bid which they deem most favorable to the interest of FRSA after all proposals have been canvassed.

Date: _____

Bidder: _____
(Printed Name of Firm)

(Printed Street Address)

(Printed City, State, Zip)

(Area Code and Phone Number)

(Authorized Rep's Email Address)

By: _____
(Authorized Rep's Signature)

By: _____
(Printed Authorized Rep's Name)

By: _____
(Printed Authorized Rep's Title)

By: _____
(Fax Number)

**SECTION 01 5100
TEMPORARY UTILITIES**

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Temporary Utilities: heat.

1.02 RELATED REQUIREMENTS

1.03 TEMPORARY HEATING

- A. Cost of Energy: By General Contractor from allowance amount included in the Proposal Form included in the Project Manual.
- B. Provide heating devices and heat as needed to maintain specified conditions for construction operations.
- C. Maintain minimum ambient temperature of 50 degrees F in areas where construction is in progress, unless indicated otherwise in specifications.

PART 2 PRODUCTS - NOT USED

PART 3 EXECUTION - NOT USED

END OF SECTION

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Rainfall Intensity (in/hr): 9.3
Based on rainfall averages in Chicago, ILLINOIS (100 years)

Gutter in Lineal Ft: 200
* Length at Largest Roof Serving a Single Gutter System

Min. DS Size (in): 3.75 x 4.75 [Plain Rectangular] (4"x5"-SEE DETAIL 5 SHEET A201)
*Per Table 1-3 on page 1.4 of SMACNA ASMM



Scale: None

PROFESSIONAL DESIGN FIRM REGISTRATION #
184-003342

Maintenance Building Renovation

Capital Project No. 2102



Rockford, Illinois

THE CONTRACTOR SHALL DETERMINE EXACT DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO SUBMITTING A BID. THE CONTRACTOR SHALL COORDINATE ALL DRAWINGS WITH ACTUAL FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. THIS DRAWING IS THE PROPERTY OF BLAKEMORE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN PERMISSION OF THE ARCHITECT.

NO.	DATE	DESCRIPTION
1.	11-05-2025	Initial Owner Layout Review
2.	02-20-2026	90% Owner Review
3.	04-16-2026	95% Owner Review
4.	06-18-2026	Final Owner Review
5.	06-30-2026	Issued for Bids
6.	07-17-2026	Addendum One

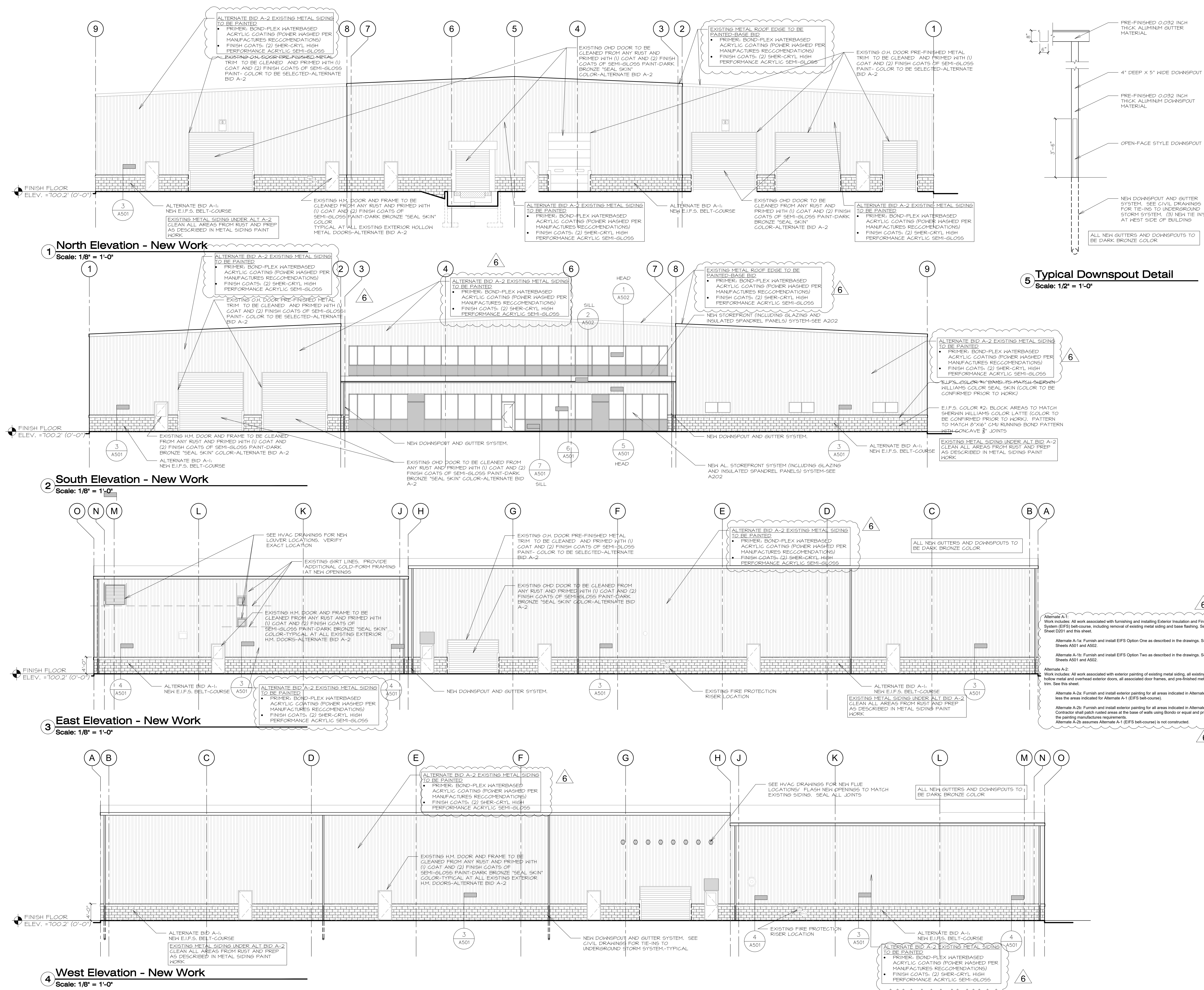
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Project No. 2025-16

Scale 1/8" = 1'-0"

Sheet Title
EXTERIOR BUILDING ELEVATIONS

Ref. North
Sheet No. A201
PROFESSIONAL DESIGN FIRM REGISTRATION # 184-003342



Maintenance Building Renovation

Capital Project No.
2102

for



Rockford, Illinois

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Project No. 2025-16

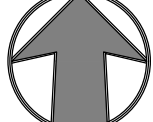
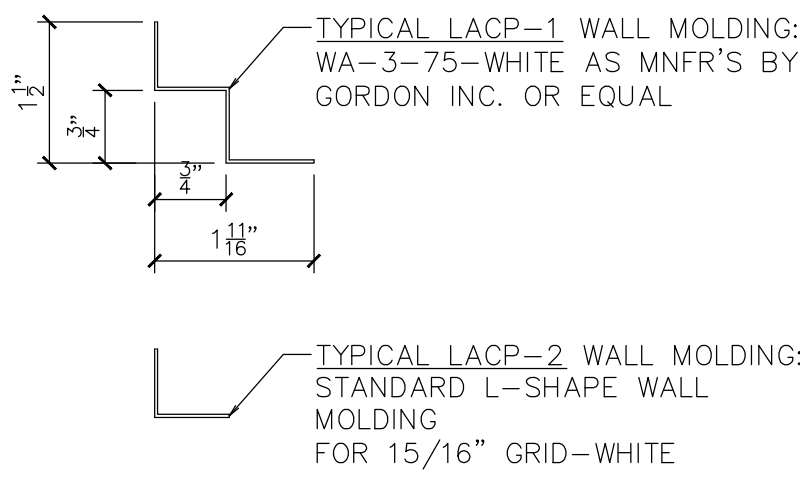
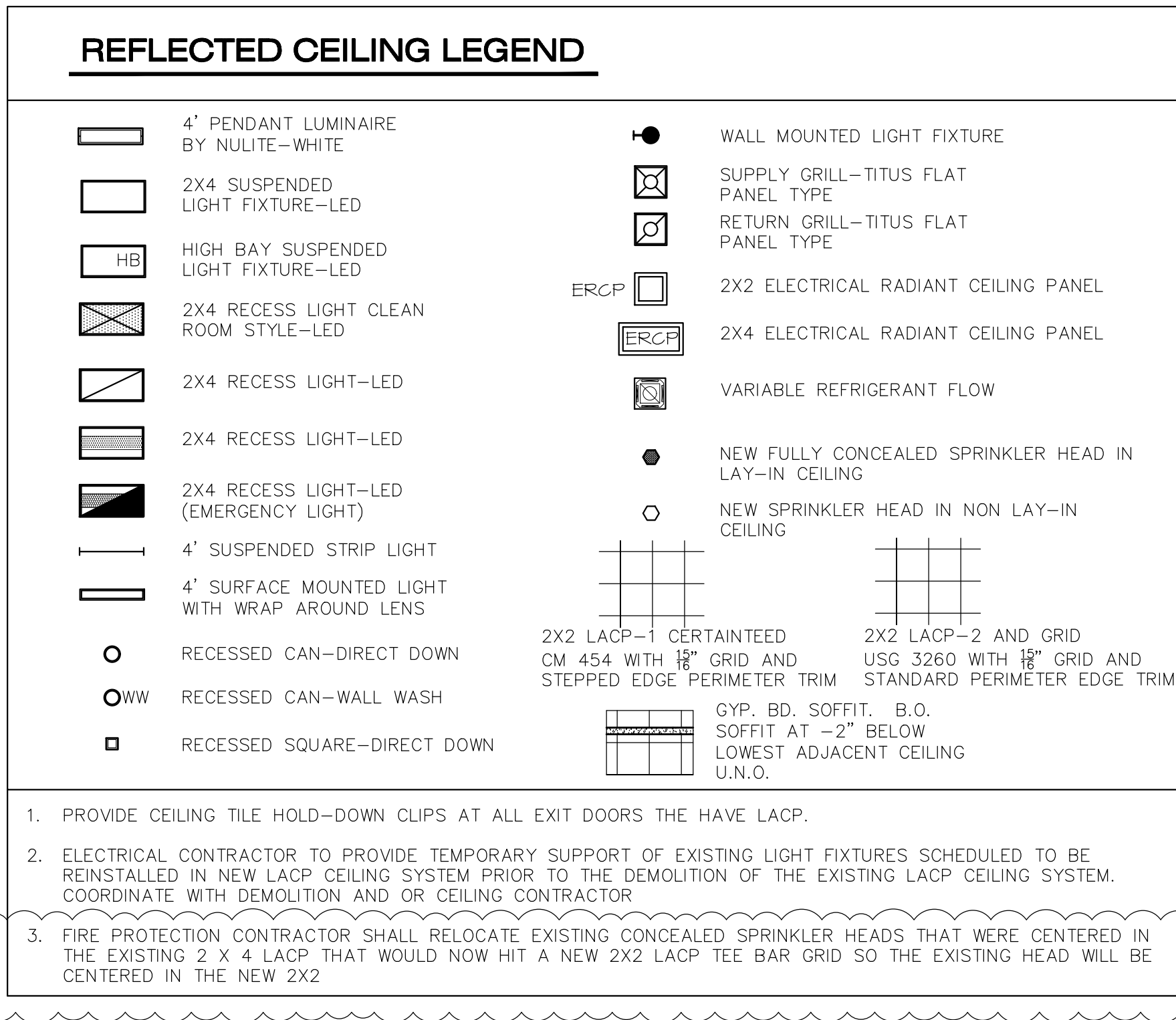
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1/8" = 1'-0"

Sheet Title

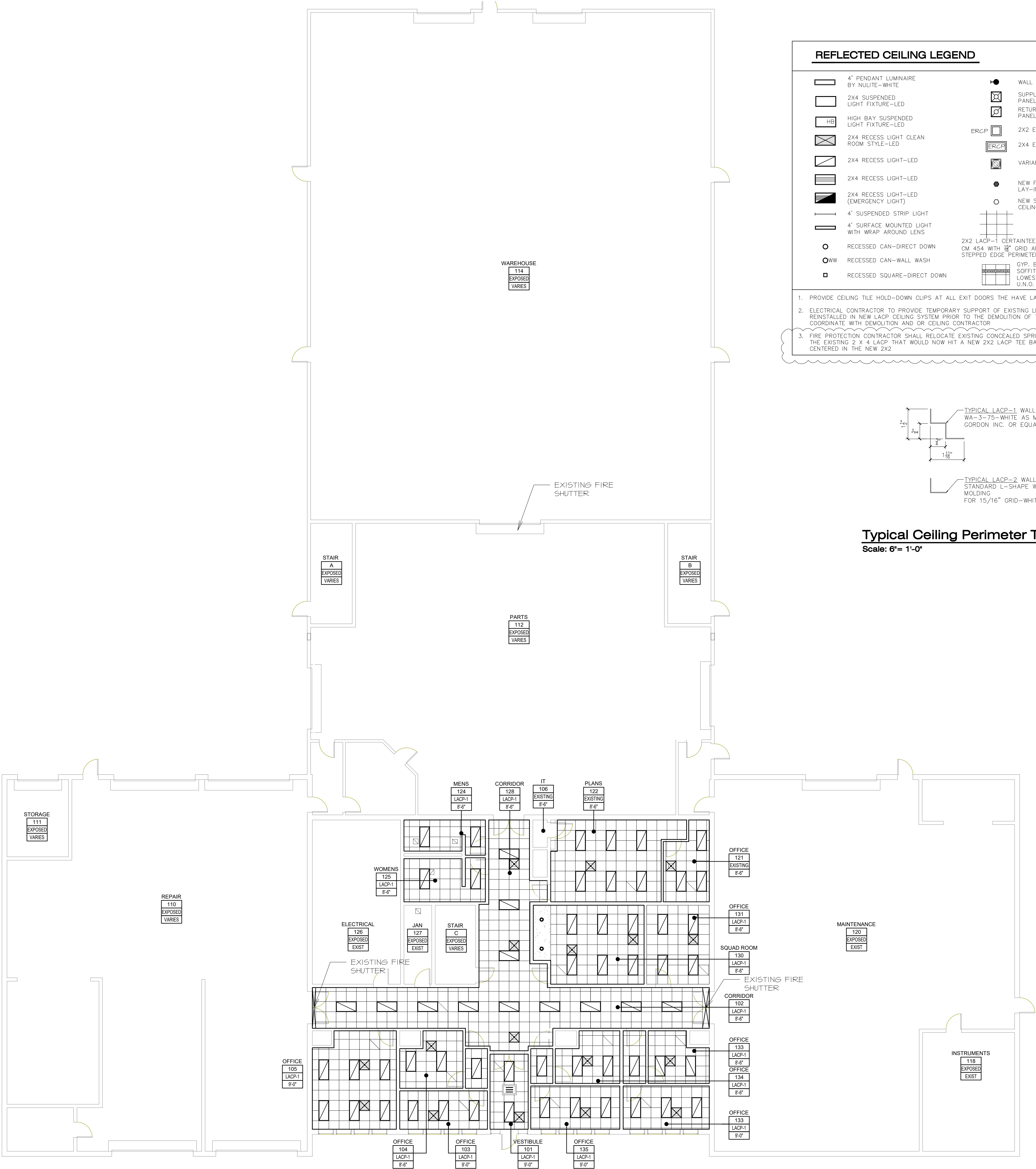
REFLECTED CEILING PLAN
FIRST FLOOR

Ref. North Sheet No.

PROFESSIONAL DESIGN FIRM REGISTRATION #
184-003342

Typical Ceiling Perimeter Trim Types

Scale: 6"= 1'-0"

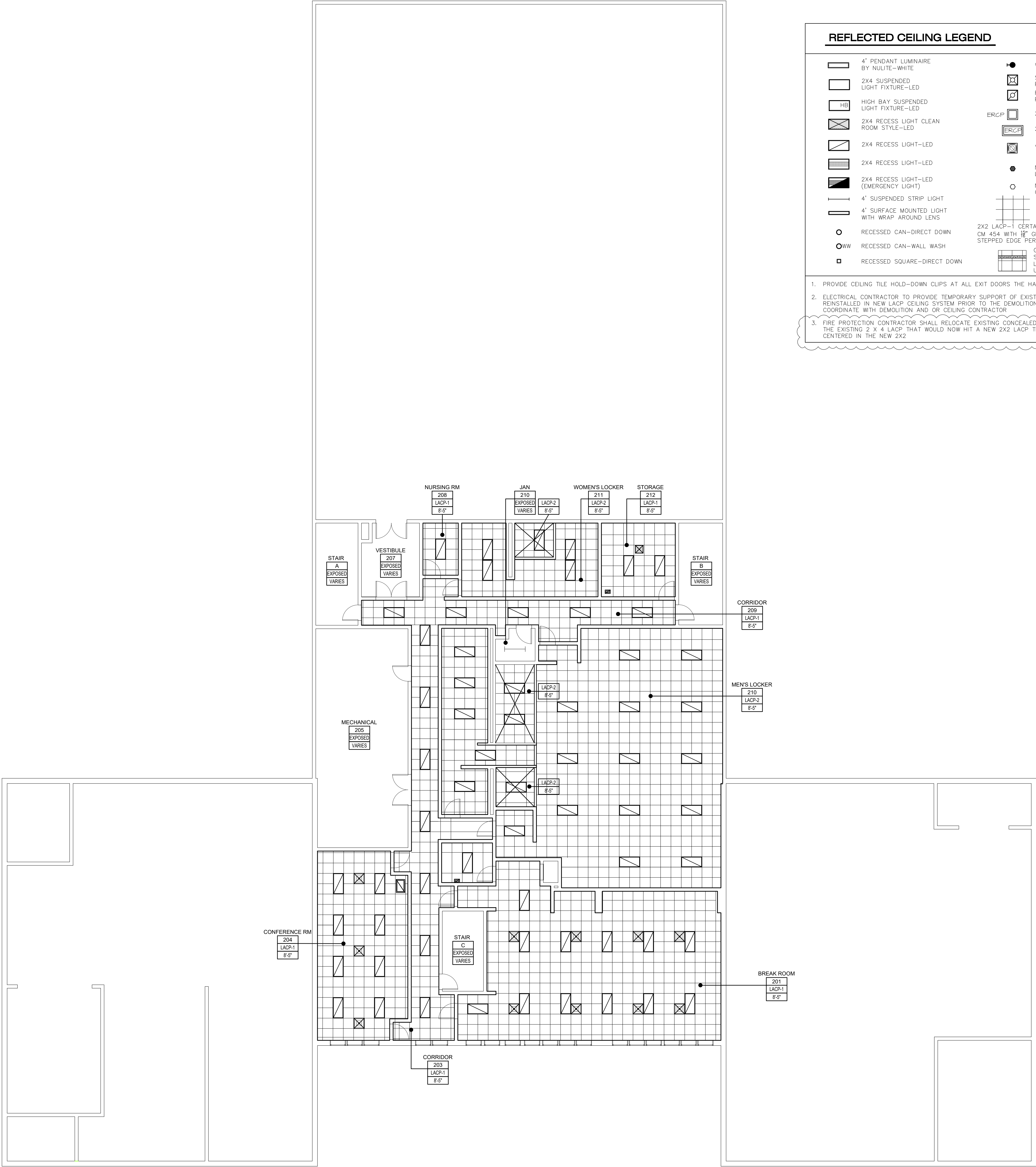


RCP Plan-First Floor

Scale: 1/8" = 1'-0"

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RCP Plan-Second Floor
Scale: 1/8" = 1'-0"



REFLECTED CEILING LEGEND

4" PENDANT LUMINAIRE
BY NUULITE-WHITE

2X4 SUSPENDED
LIGHT FIXTURE-LED

HIGH BAY SUSPENDED
LIGHT FIXTURE-LED

2X4 RECESS LIGHT CLEAN
ROOM STYLE-LED

2X4 RECESS LIGHT-LED

2X4 RECESS LIGHT-LED

2X4 RECESS LIGHT-LED
(EMERGENCY LIGHT)

4' SUSPENDED STRIP LIGHT

4' SURFACE MOUNTED LIGHT
WITH WRAP AROUND LENS

RECESSED CAN-DIRECT DOWN

RECESSED CAN-WALL WASH

RECESSED SQUARE-DIRECT DOWN

WALL MOUNTED LIGHT FIXTURE

SUPPLY GRILL-TITUS FLAT
PANEL TYPE

RETURN GRILL-TITUS FLAT
PANEL TYPE

2X2 ELECTRICAL RADIANT CEILING PANEL

2X4 ELECTRICAL RADIANT CEILING PANEL

VARIABLE REFRIGERANT FLOW

NEW FULLY CONCEALED SPRINKLER HEAD IN
LAY-IN CEILING

NEW SPRINKLER HEAD IN NON LAY-IN
CEILING

2X2 LACP-1 CERTAINTED
CM 454 WITH 1/2" GRID AND
STEPPED EDGE PERIMETER TRIM

2X2 LACP-2 AND GRID
USC 3260 WITH 1/2" GRID AND
STANDARD PERIMETER EDGE TRIM

GYP. BD. SOFFIT. B.O.
SOFFIT AT ~2" BELOW
LOWEST ADJACENT CEILING
U.N.O.

1. PROVIDE CEILING TILE HOLD-DOWN CLIPS AT ALL EXIT DOORS THE HAVE LACP.

2. ELECTRICAL CONTRACTOR TO PROVIDE TEMPORARY SUPPORT OF EXISTING LIGHT FIXTURES SCHEDULED TO BE REINSTALLED IN NEW LACP CEILING SYSTEM PRIOR TO THE DEMOLITION OF THE EXISTING LACP CEILING SYSTEM. COORDINATE WITH DEMOLITION AND OR CEILING CONTRACTOR

3. FIRE PROTECTION CONTRACTOR SHALL RELOCATE EXISTING CONCEALED SPRINKLER HEADS THAT WERE CENTERED IN THE EXISTING 2 X 4 LACP THAT WOULD NOW HIT A NEW 2X2 LACP TEE BAR GRID SO THE EXISTING HEAD WILL BE CENTERED IN THE NEW 2X2

BA

BLAKEMORE
ARCHITECTS

400 N. First Street Rockford, IL 61107
Telephone: 815-227-0023
Email: Brian@b-b-arch.com
Web: blakemore-architects.com

Maintenance Building
Renovation

Capital Project No.
2102

for

Rockford, Illinois

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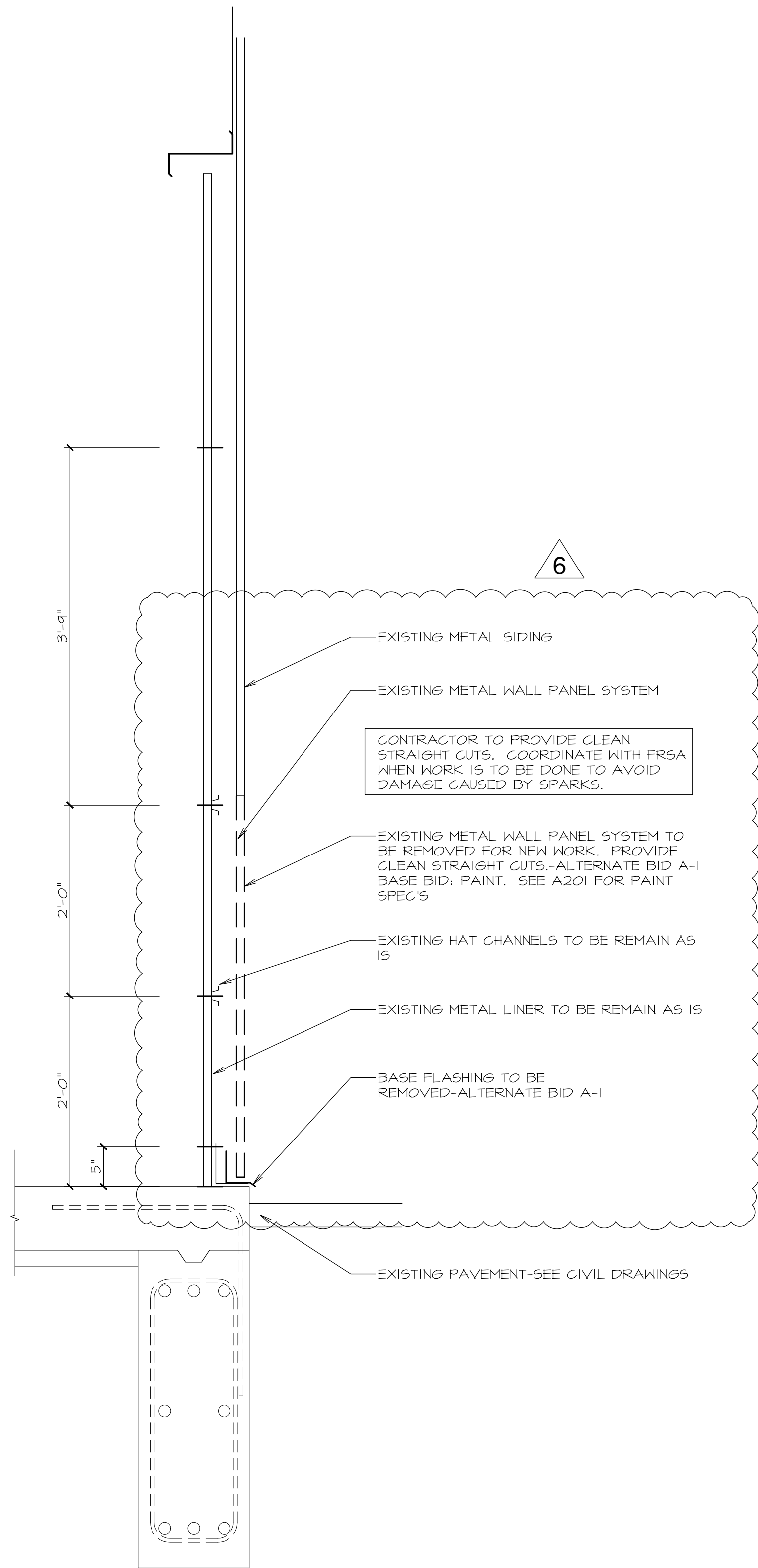
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Sheet Title
REFLECTED CEILING PLAN
SECOND FLOOR

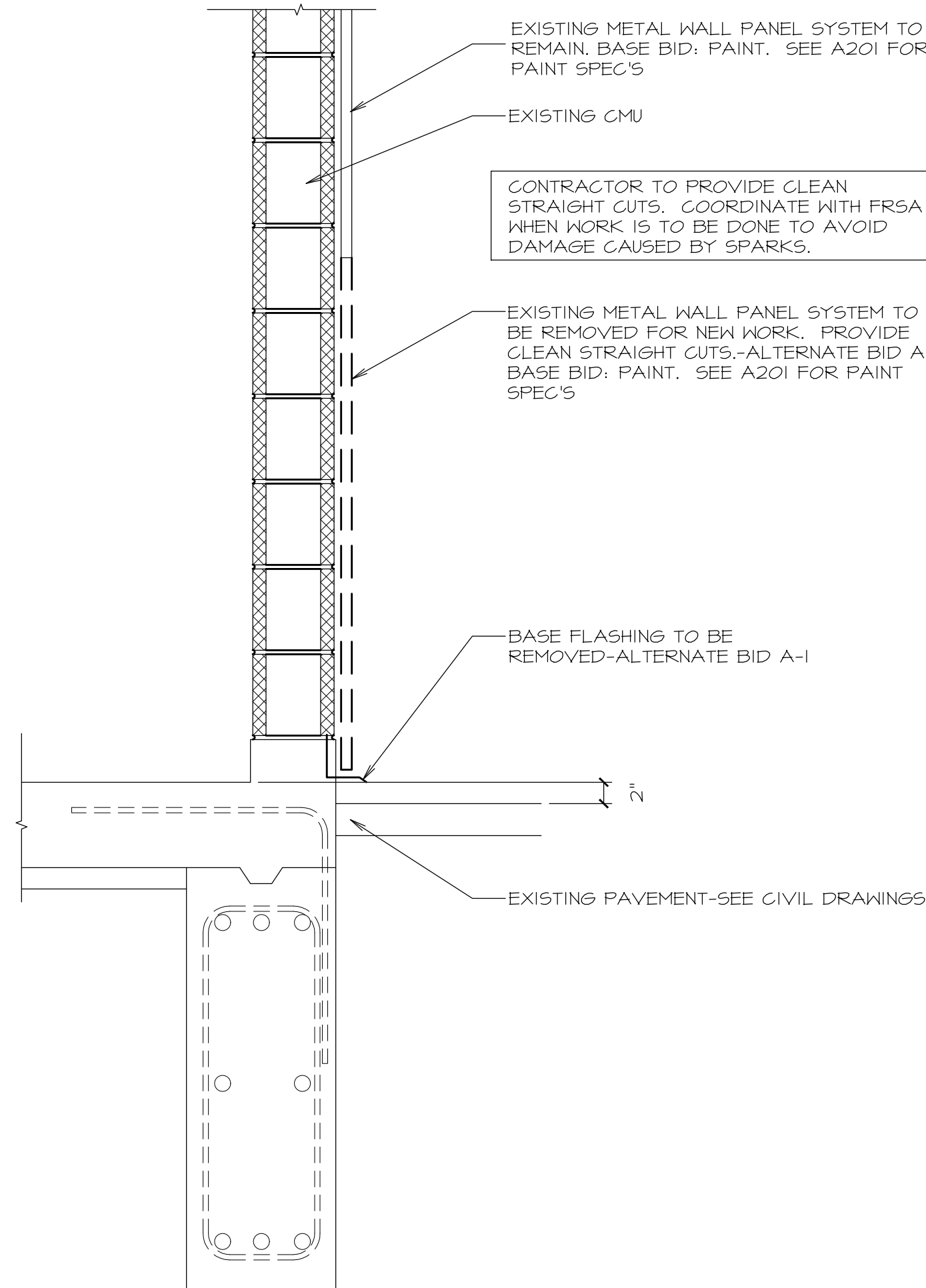
Ref. North Sheet No.
A402

PROFESSIONAL DESIGN FIRM REGISTRATION #
184-003342

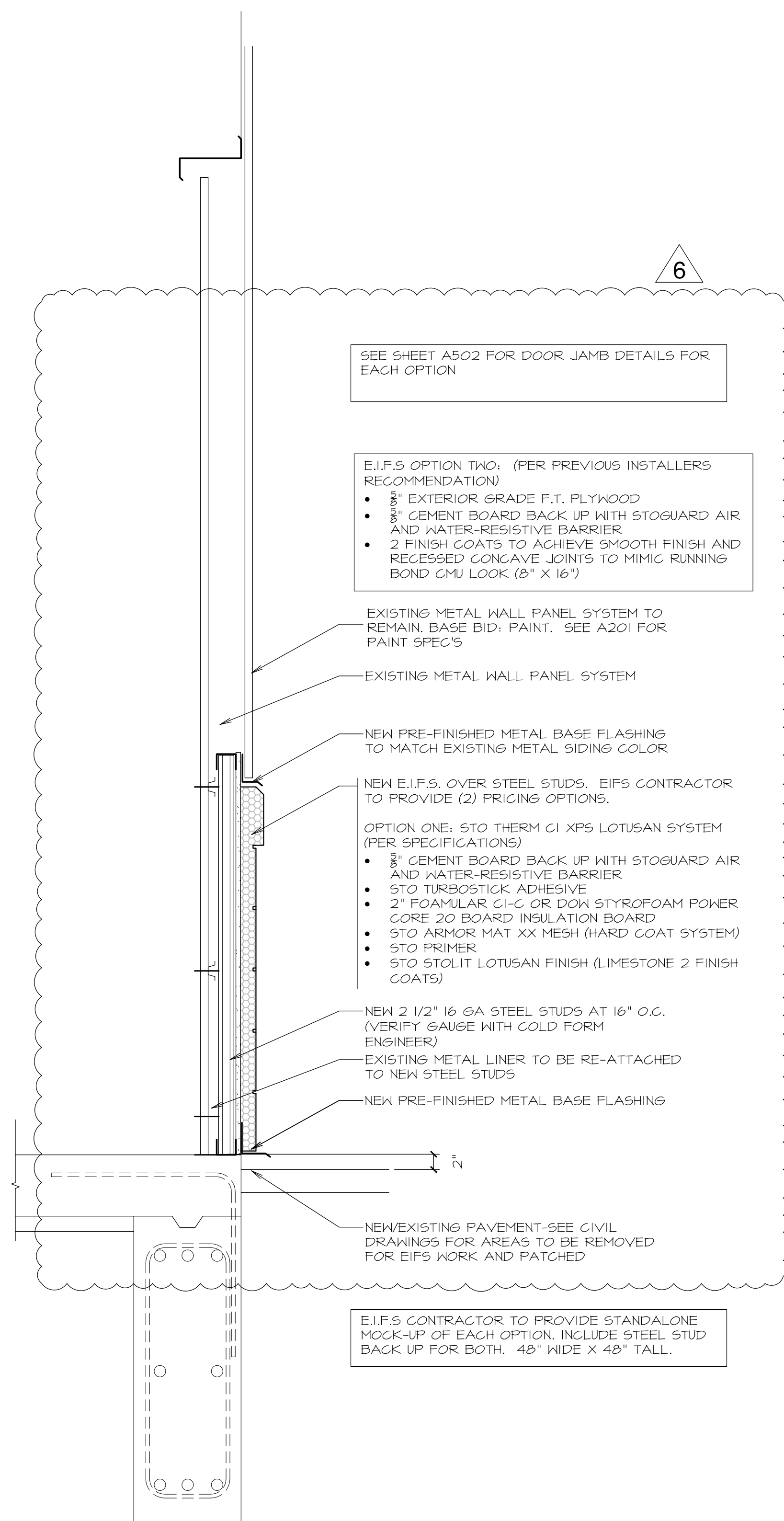
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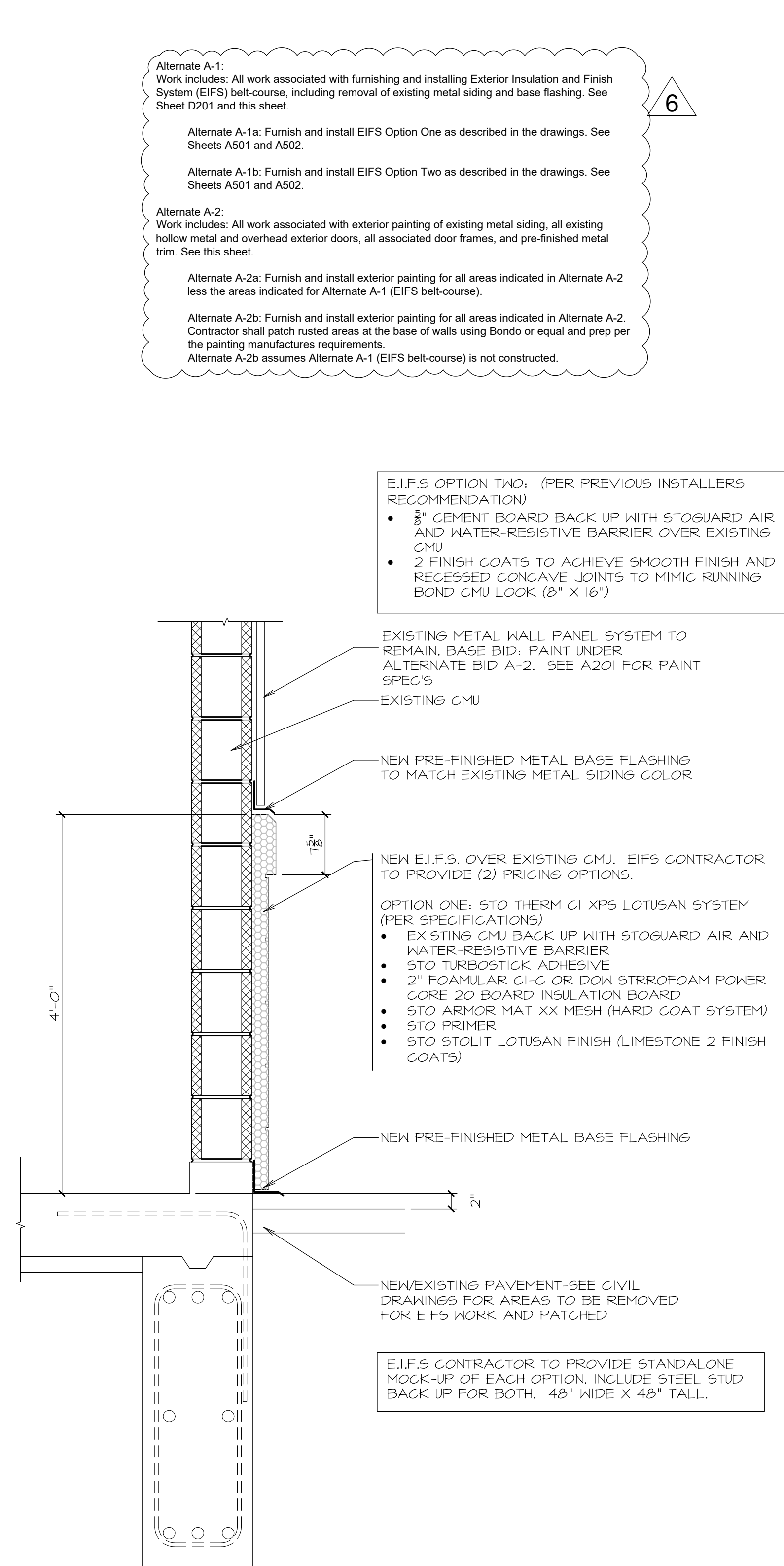
1 Wall Section - Demolition
Scale: 1" = 1'-0"



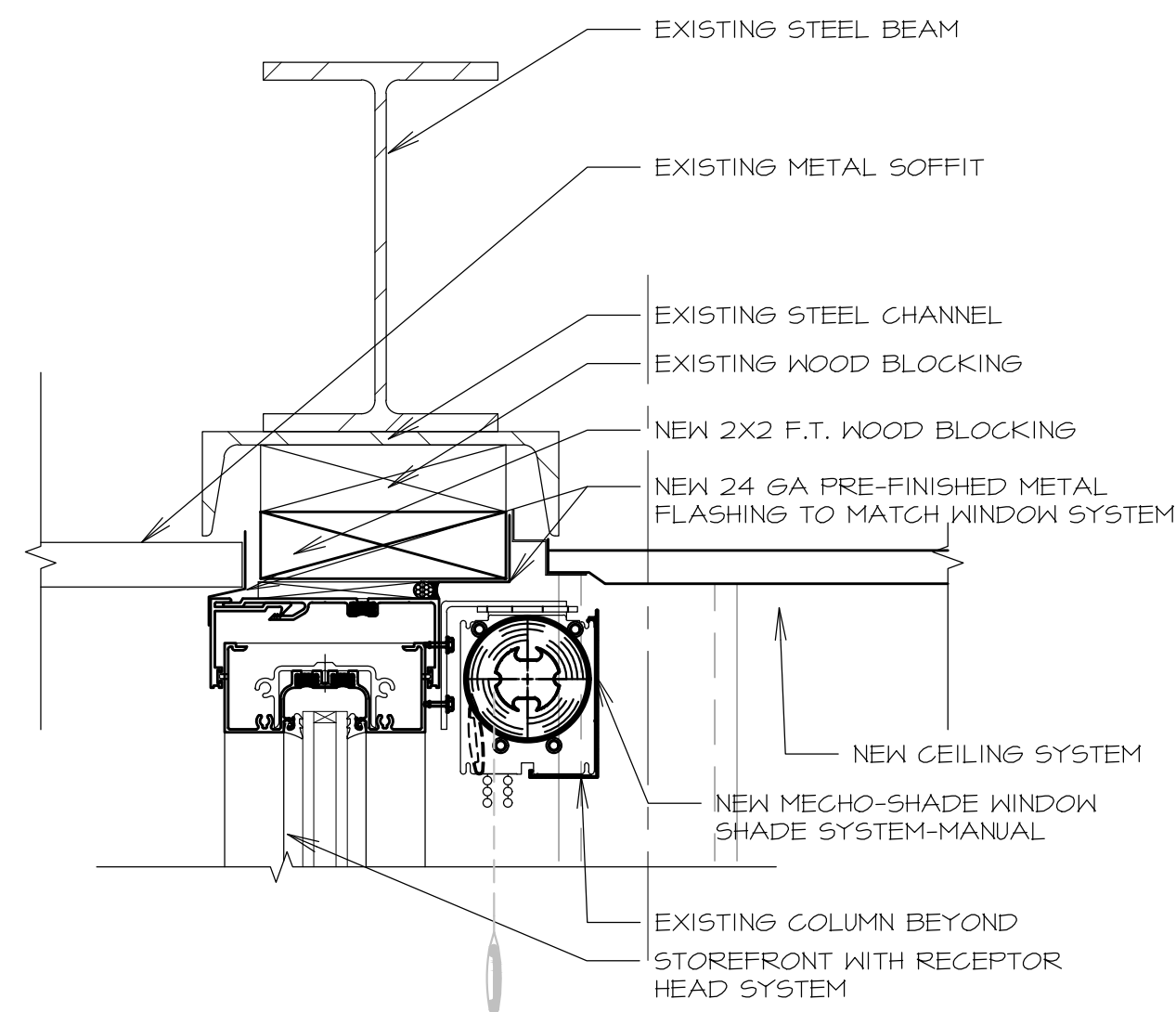
2 Wall Section - Demolition
Scale: 1" = 1'-0"



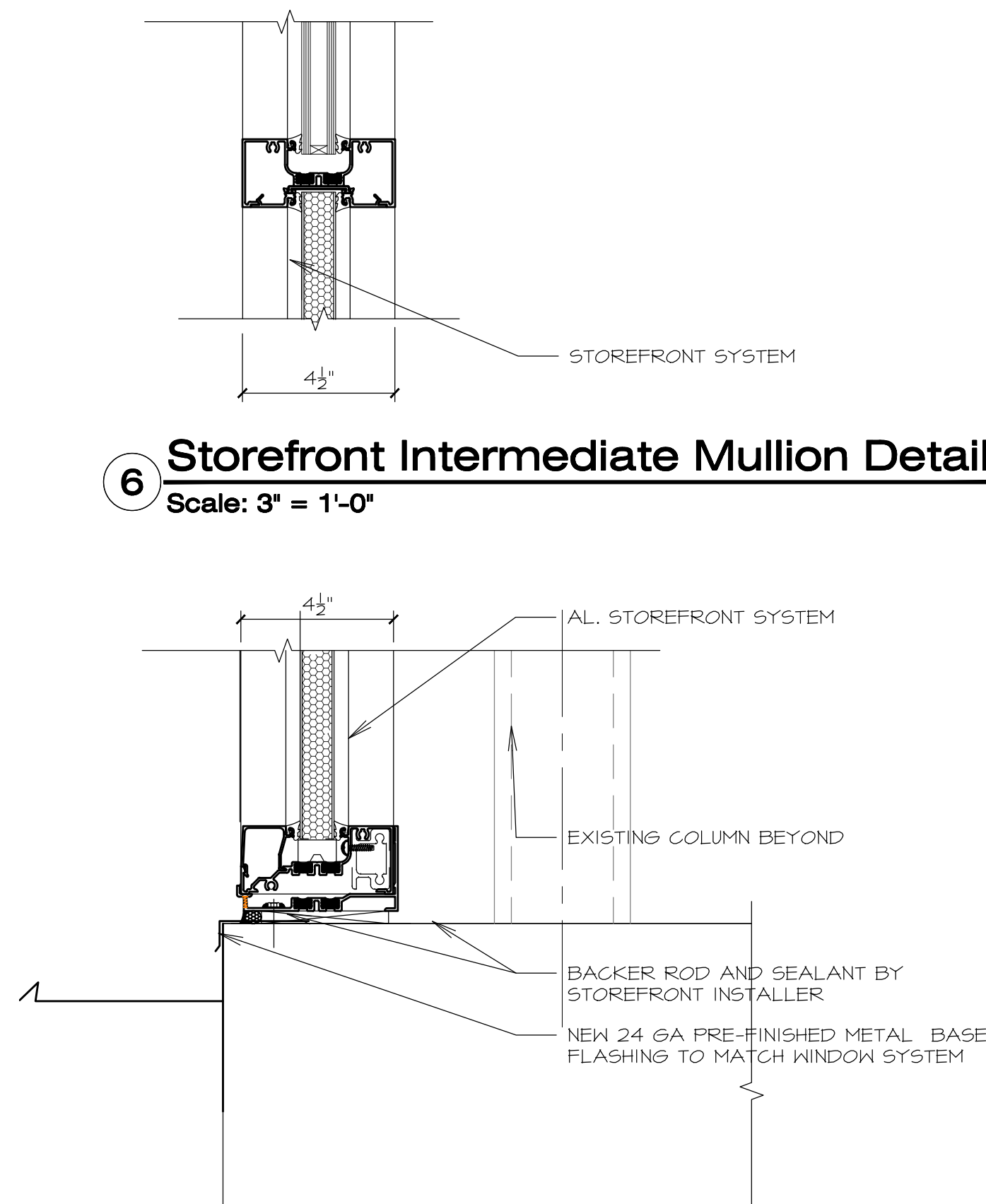
3 Wall Section - New Work @ Studs
Scale: 1" = 1'-0"



4 Wall Section - New Work @ CMU
Scale: 1" = 1'-0"

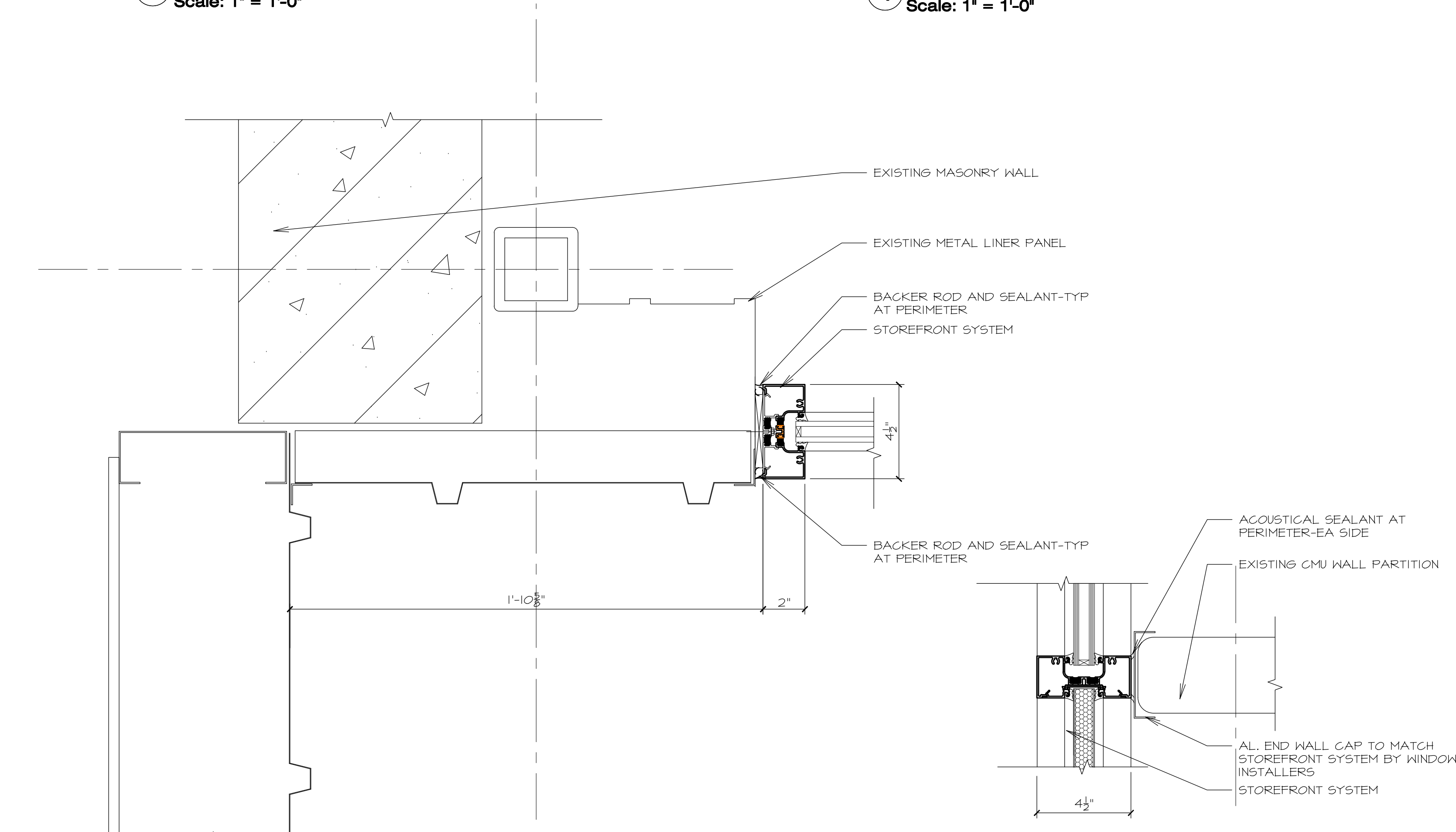


5 Storefront Head Detail
Scale: 3" = 1'-0"



6 Storefront Intermediate Mullion Detail
Scale: 3" = 1'-0"

7 Storefront Sill Detail
Scale: 3" = 1'-0"



8 Storefront Jamb Detail
Scale: 3" = 1'-0"

9 Storefront Intermediate Mullion Detail
Scale: 3" = 1'-0"

Alternate A-1:
Work includes: All work associated with furnishing and installing Exterior Insulation and Finish System (EIFS) belt-course, including removal of existing metal siding and base flashing. See Sheet D201 and this sheet.

Alternate A-1a: Furnish and install EIFS Option One as described in the drawings. See Sheets A501 and A502.

Alternate A-1b: Furnish and install EIFS Option Two as described in the drawings. See Sheets A501 and A502.

Alternate A-2:
Work includes: All work associated with exterior painting of existing metal siding, all existing hollow metal and overhead exterior doors, all associated door frames, and pre-finished metal trim. See this sheet.

Alternate A-2a: Furnish and install exterior painting for all areas indicated in Alternate A-2 less the areas indicated for Alternate A-1 (EIFS belt-course).

Alternate A-2b: Furnish and install exterior painting for all areas indicated in Alternate A-2 Contractor shall patch rusted areas at the base of walls using Bondo or equal and prep per the painting manufacturers requirements.

Alternate A-2c: assumes Alternate A-1 (EIFS belt-course) is not constructed.

6

BA

BLAKEMORE
ARCHITECTS

400 N. First Street Rockford, IL 61107
Telephone: 815-227-0023
Email: Brian@b-b-arch.com
Web: blakemore-architects.com

Maintenance Building
Renovation

Capital Project No.
2102

for

Four Rivers
Sanitation Authority

Rockford, Illinois

THE CONTRACTOR SHALL DETERMINE EXACT DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO SUBMITTING A BID. THE CONTRACTOR SHALL COORDINATE ALL DRAWINGS WITH ACTUAL FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. THIS DRAWING IS THE PROPERTY OF BLAKEMORE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN PERMISSION OF THE ARCHITECT.

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4.	06-18-2026	Final Owner Review
5.	06-30-2026	Issued for Bids
6.	07-17-2026	Addendum One

6

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Project No. 2025-16

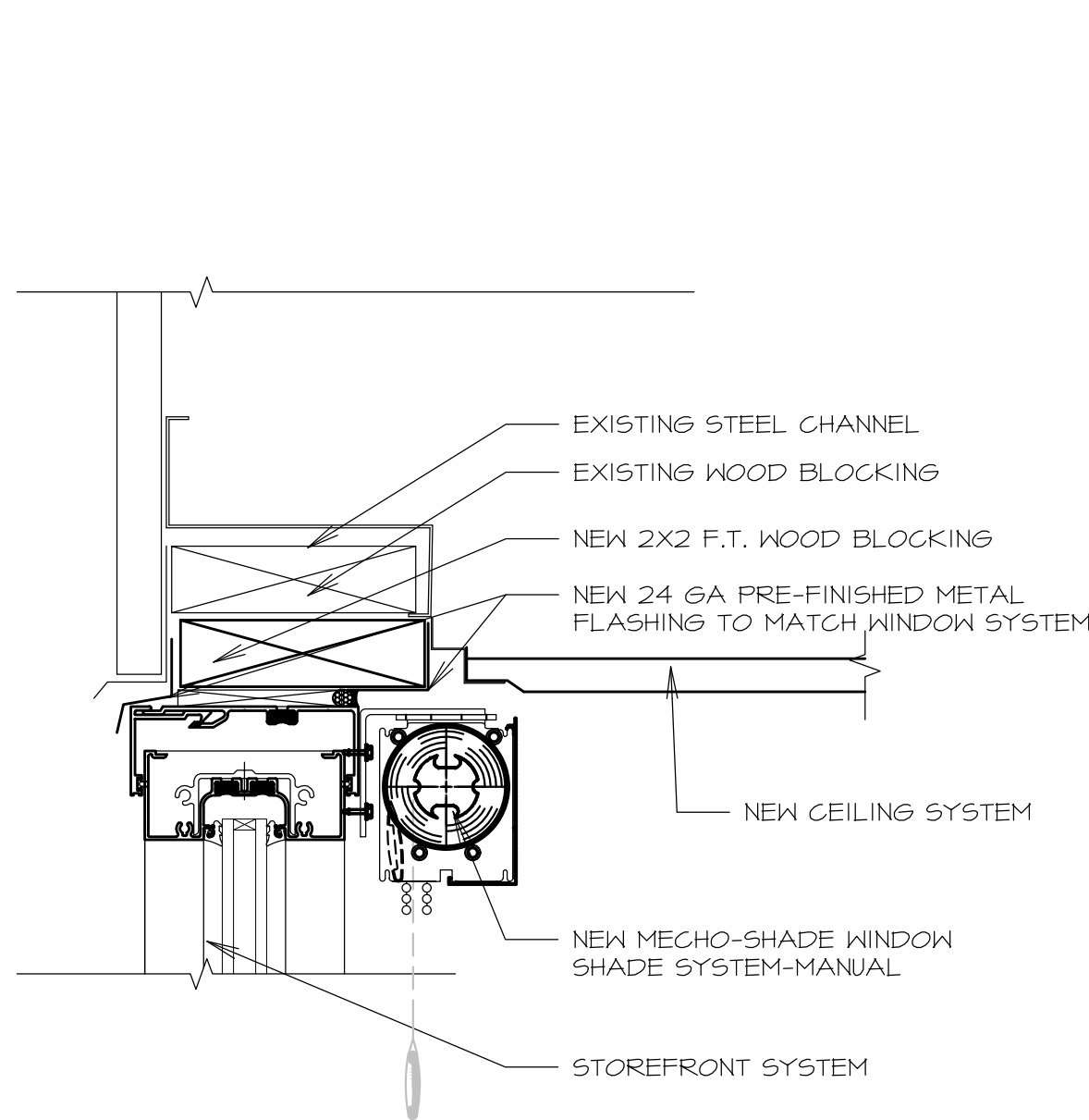
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Sheet Title DETAILS

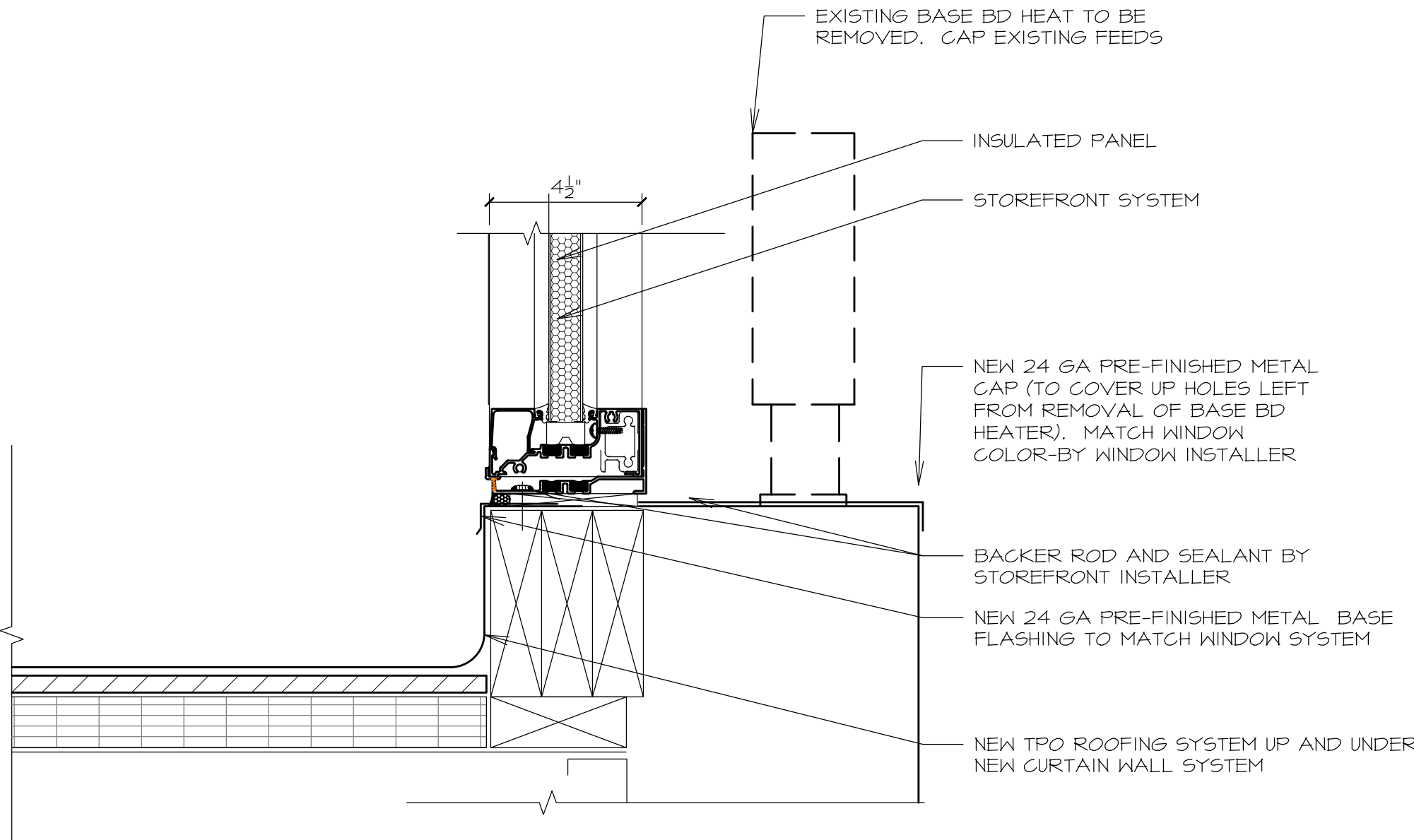
Ref. North Sheet No. A501

PROFESSIONAL DESIGN FIRM REGISTRATION #
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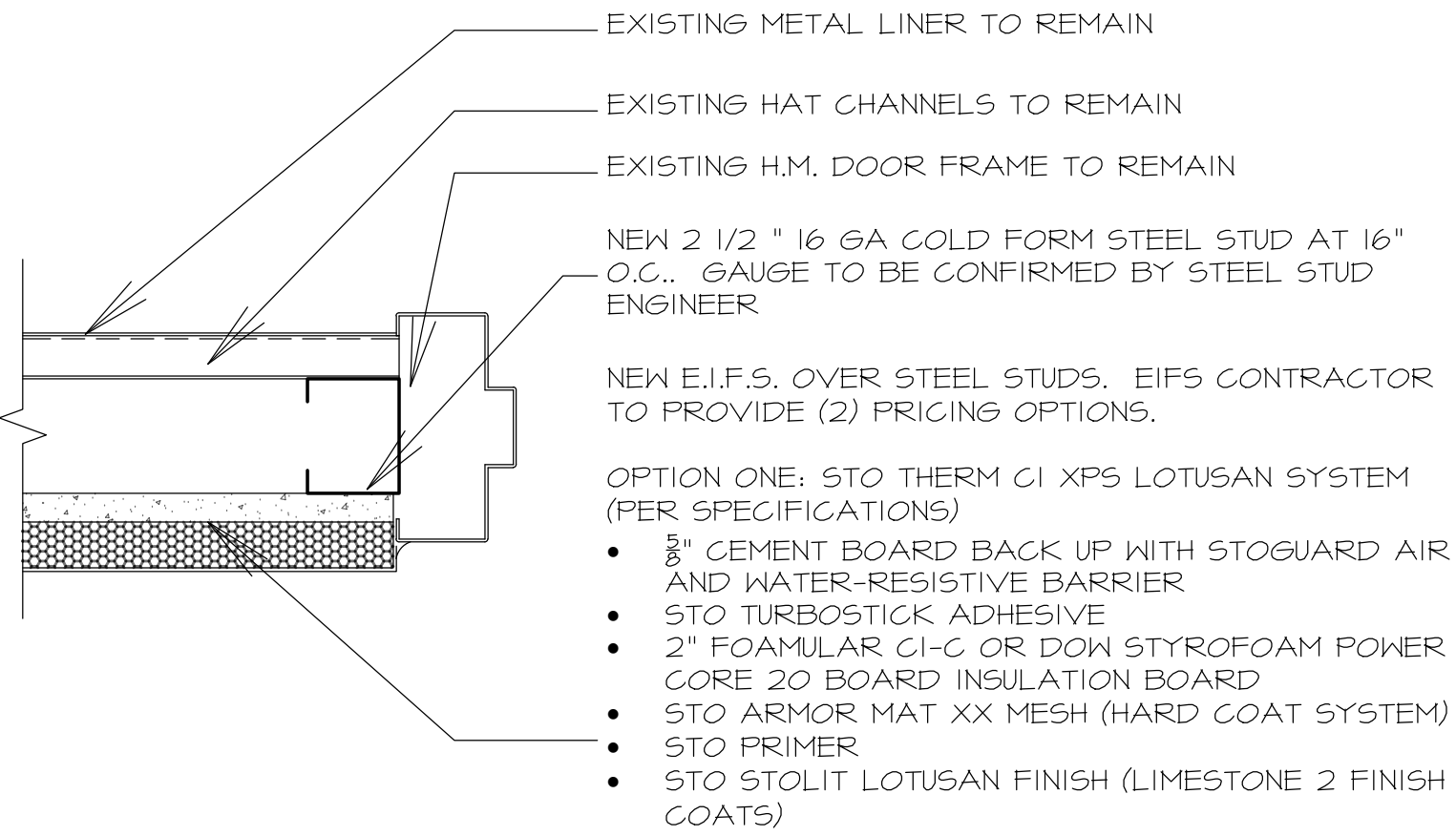
F:\Projects\2025 Projects\2025-16 FRCA Maintenance Building Renovation\Final\Final 4-15-2026\2025-16 FRCA Maintenance Building Renovation\Final\Final 4-15-2026.dwg Jul 15, 2026 3:56pm Brian



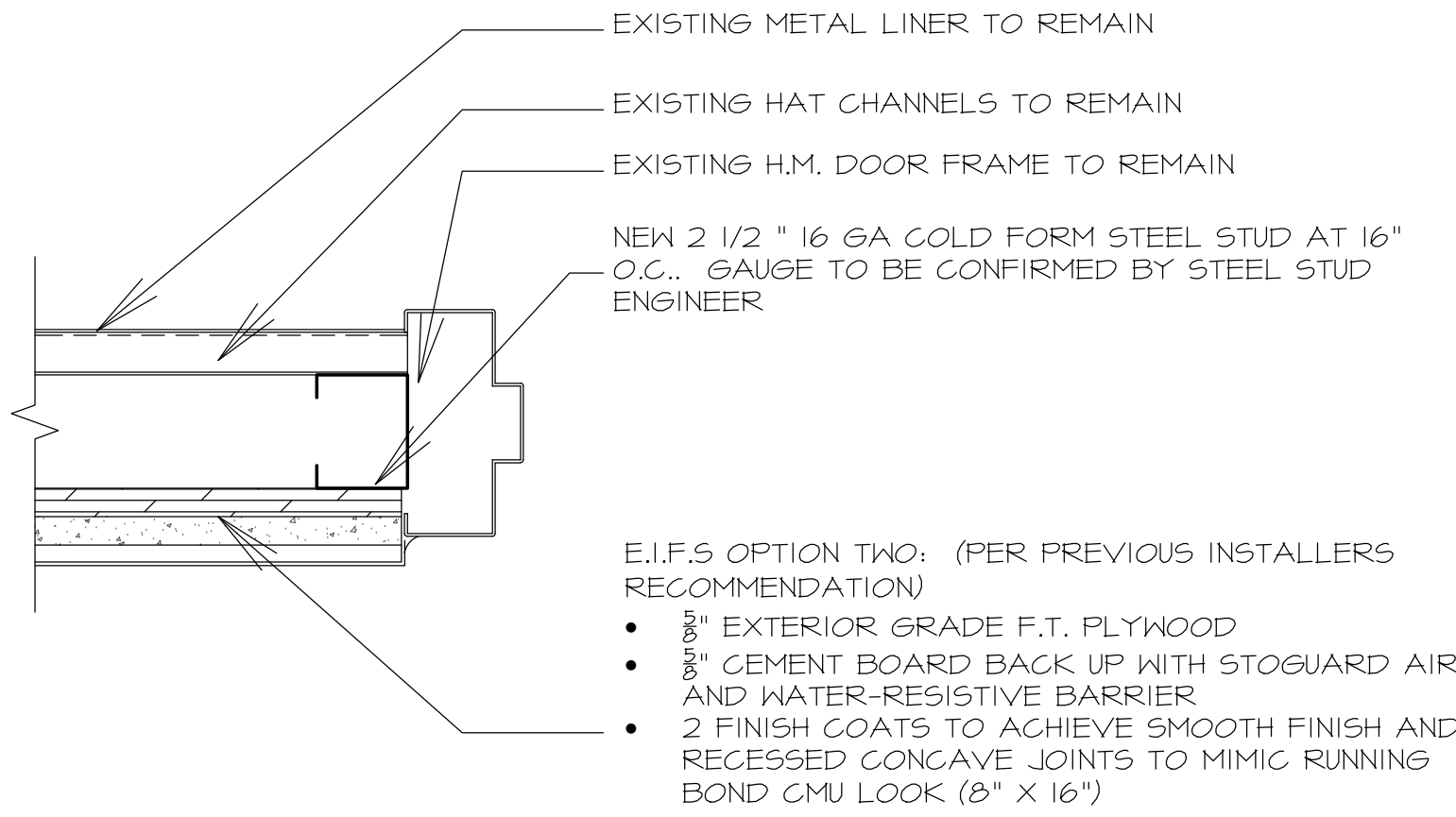
1 Storefront Head Detail
Scale: 3" = 1'-0"



2 Storefront Sill Detail
Scale: 3" = 1'-0"



3 E.I.F.S. Option Jamb Details
Scale: 3" = 1'-0"



Maintenance Building
Renovation

Capital Project No.
2102

for



Rockford, Illinois

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Project No. 2025-16

Scale

AS NOTED

Sheet Title

DETAILS

Ref. North

Sheet No.

A502

PROFESSIONAL DESIGN FIRM REGISTRATION #
184-003342



Maintenance Building Renovation

Capital Project No.
2102

for



Rockford, Illinois

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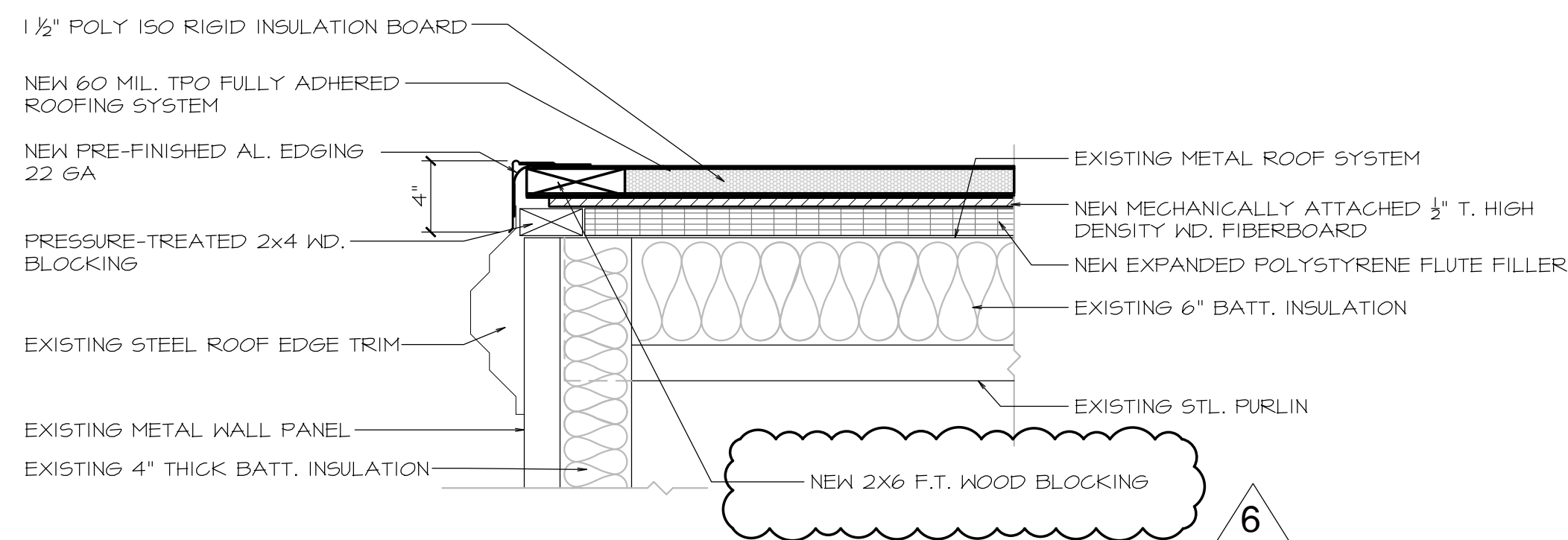
Project No. 2025-16

Scale

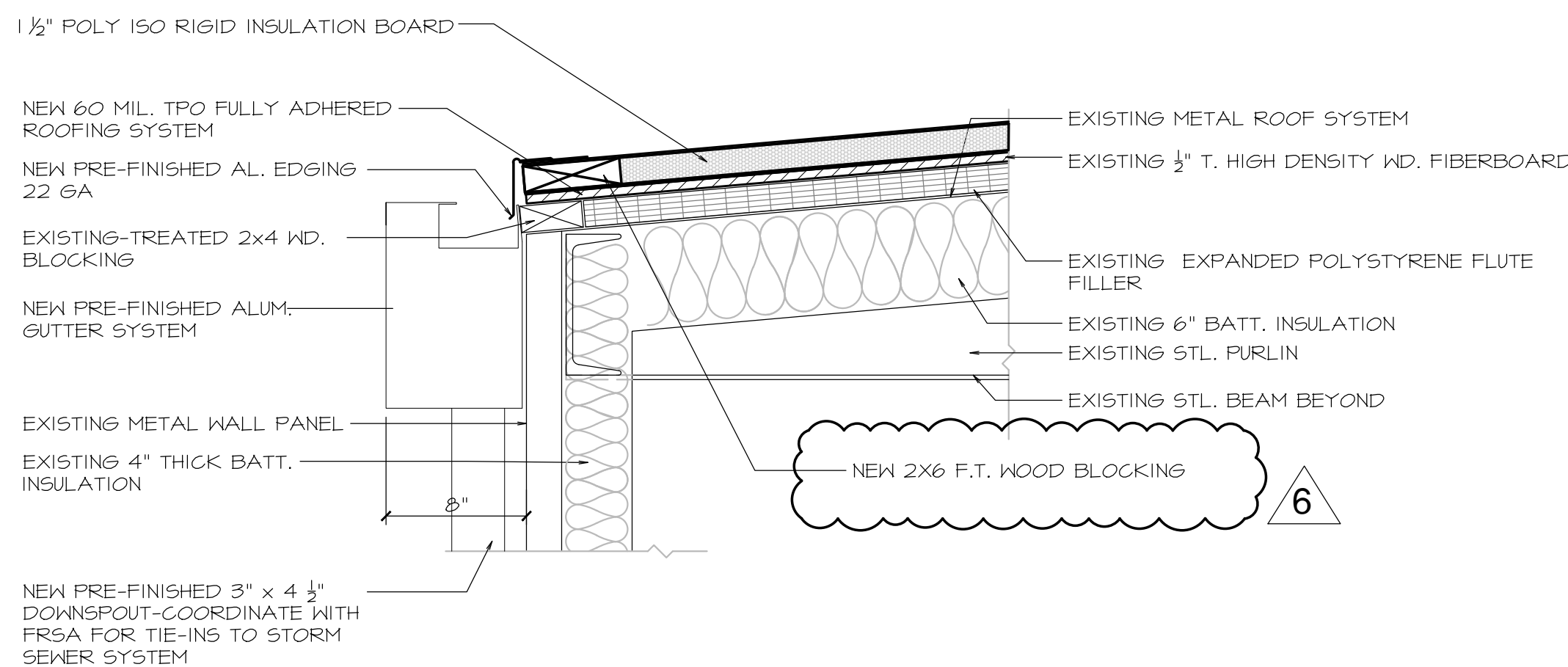
$$1-1/2'' = 1'-0''$$

Sheet Title

ROOF DETAILS -NEW WORK

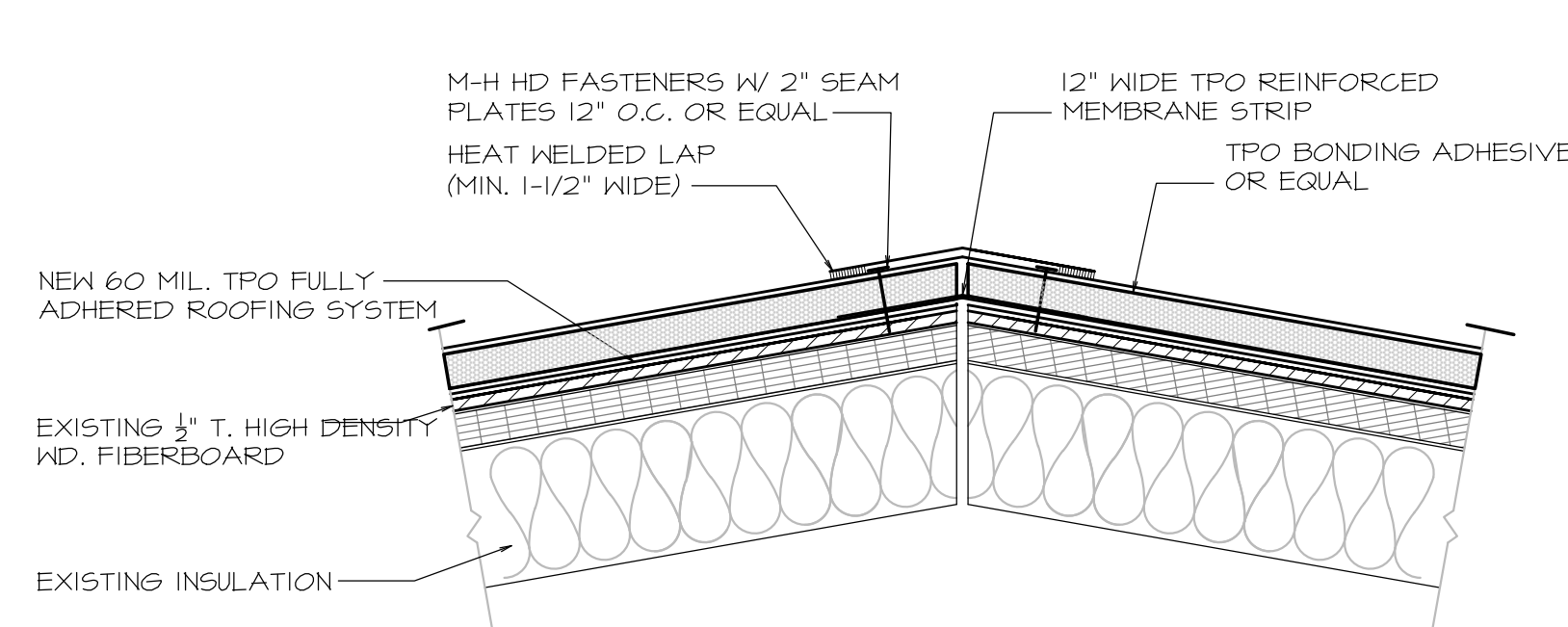


1 Eave Detail
Scale: 1-1/2" = 1'-0"

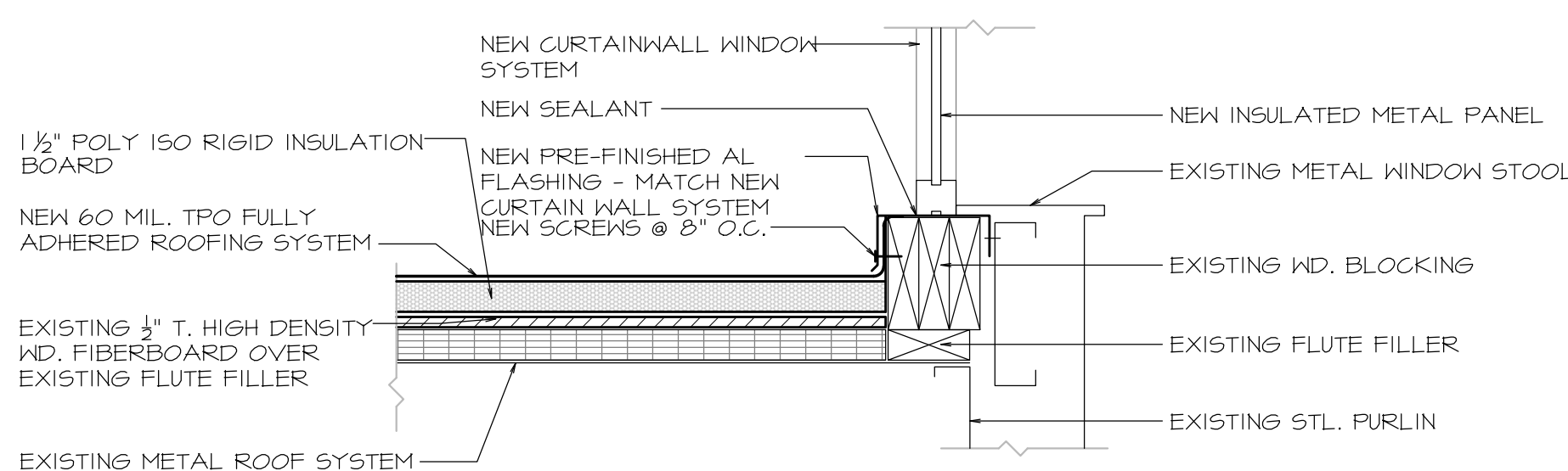


2 Gutter Detail

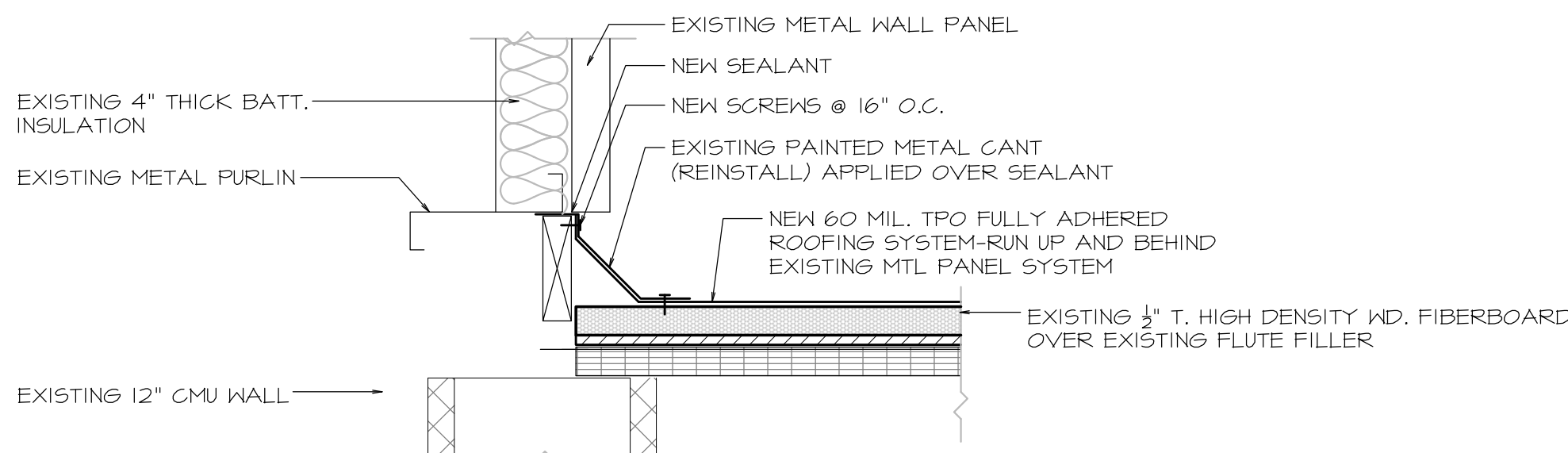
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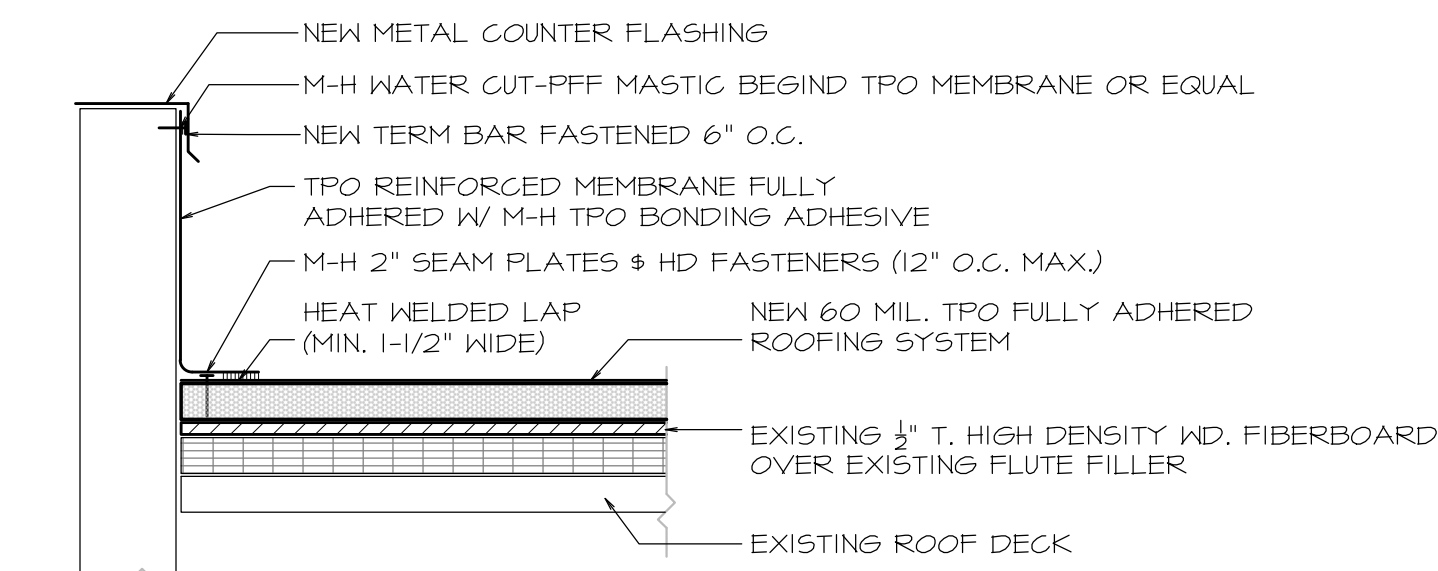
3 Ridge Flashing



4 Roof to Window Flashing Detail



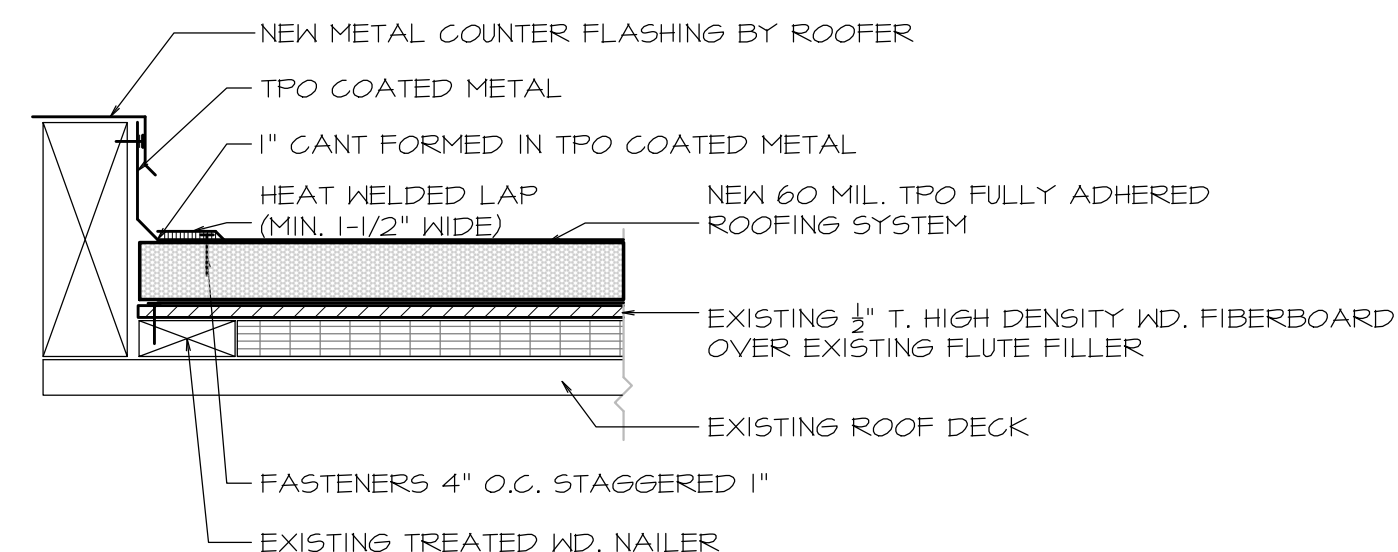
5 Roof to Wall Flashing Detail



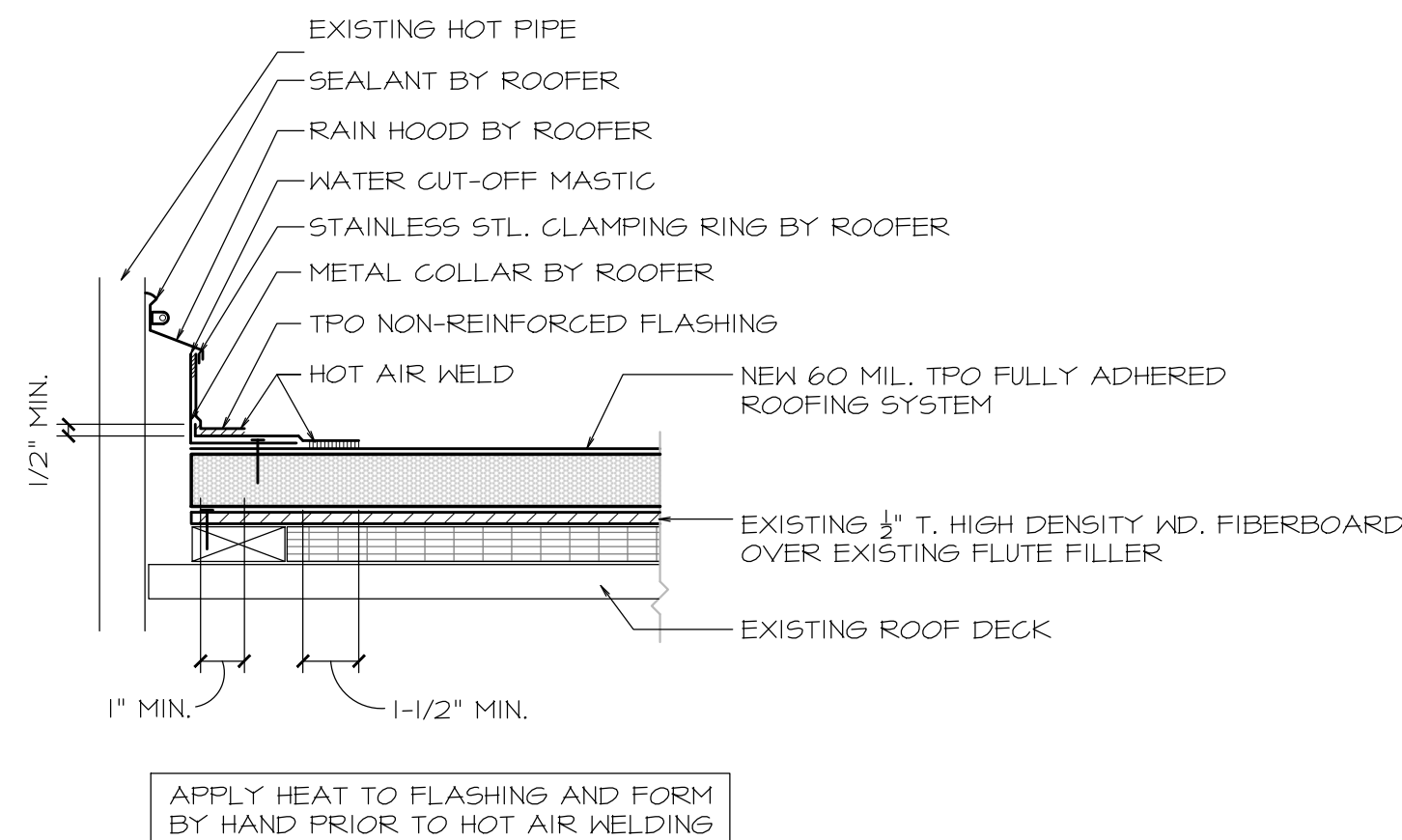
6 Curb Flashing Detail
Scale: 1-1/2" = 1'-0"

NOTES:

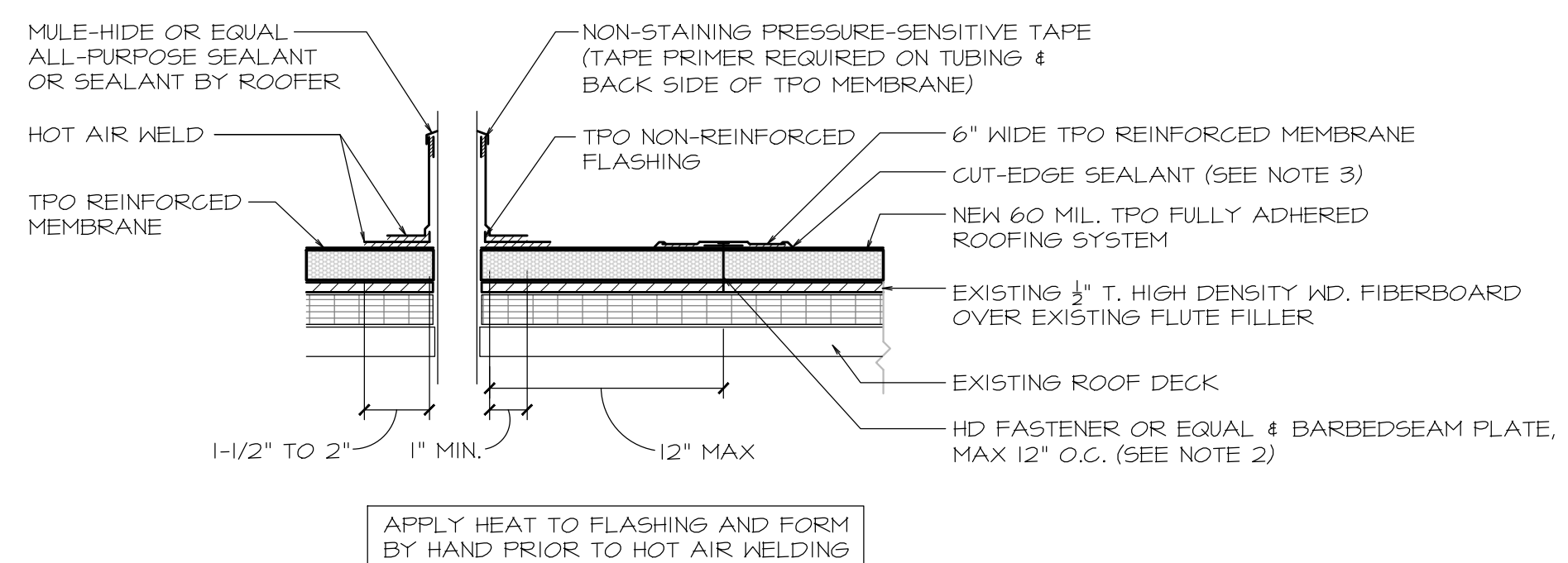
1. INSTALL ROOFING PER MANUFACTURES RECOMMENDATIONS.
2. INSTALL A MINIMUM OF 4 BARBED SEAM PLATES AROUND TUBES WITH A DIMENSION UP TO 6". ADDITIONAL BARBED SEAM PLATES WILL BE REQUIRED FOR TUBES WITH SIDE DIMENSIONS GREATER THAN 6" AND SHALL BE SPACED 12" O.C. MAX.
- FASTENERS / PLATES ARE NOT REQUIRED ON ADHERED SYSTEMS UNLESS TUBE SIDE DIMENSIONS EXCEED 18"
3. APPROXIMATELY 1/4" DIA. BEAD OF CUT-EDGE SEALANT IS REQUIRED ON CUT EDGES OF TPO REINFORCED MEMBRANE



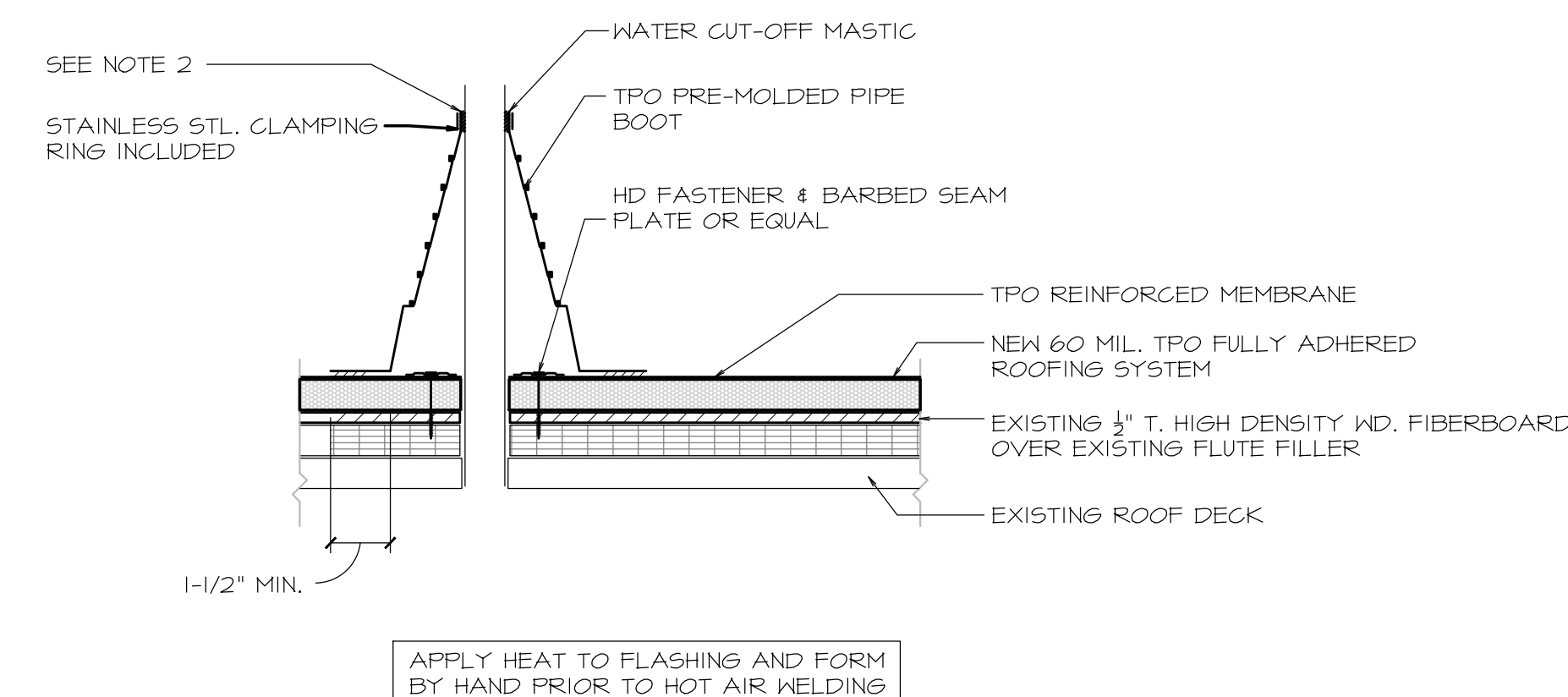
7 Curb Flashing - Metal
Scale: 1-1/2" = 1'-0"



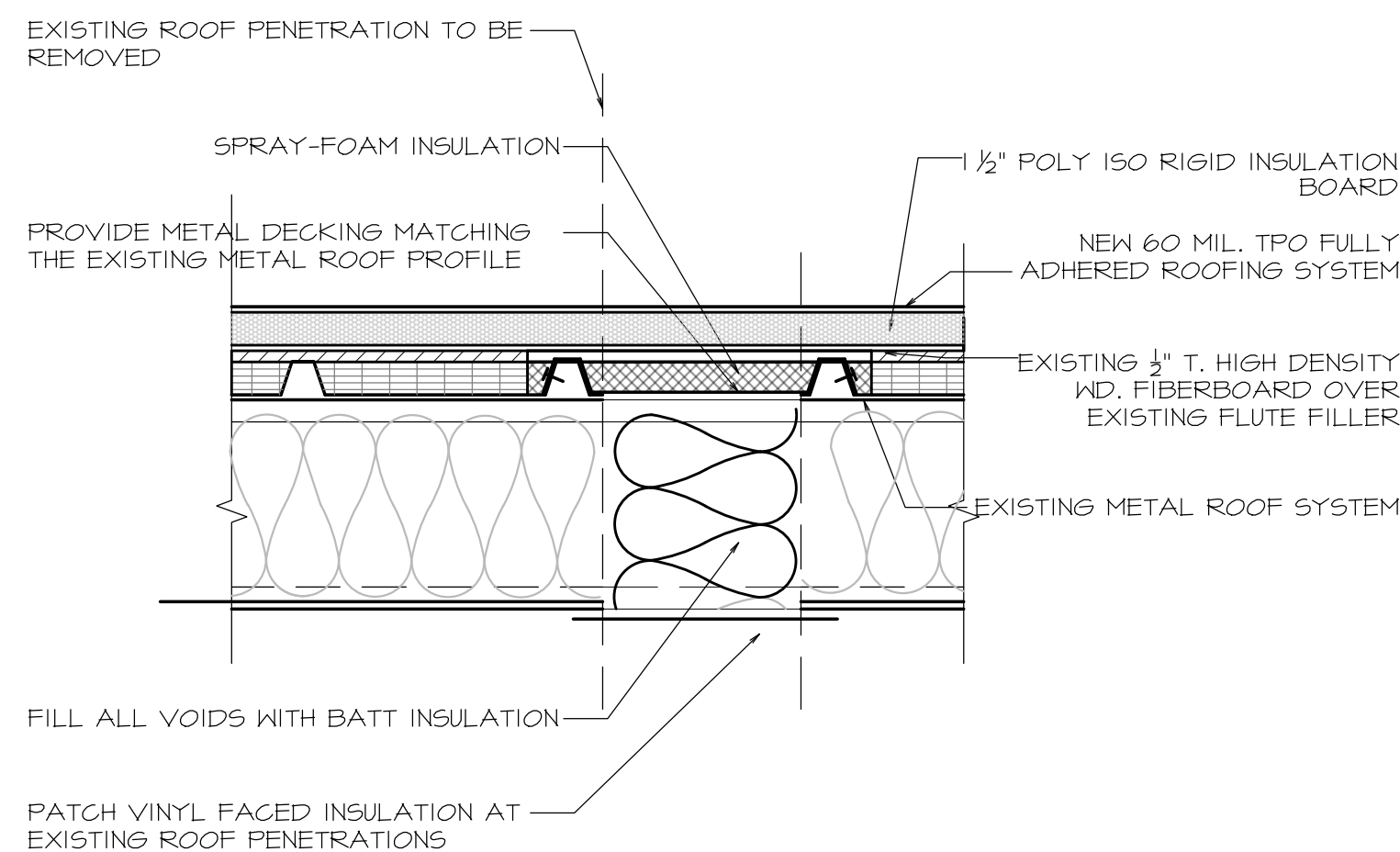
8 Hot Pipe Flashing Detail
Scale: 1-1/2" = 1'-0"



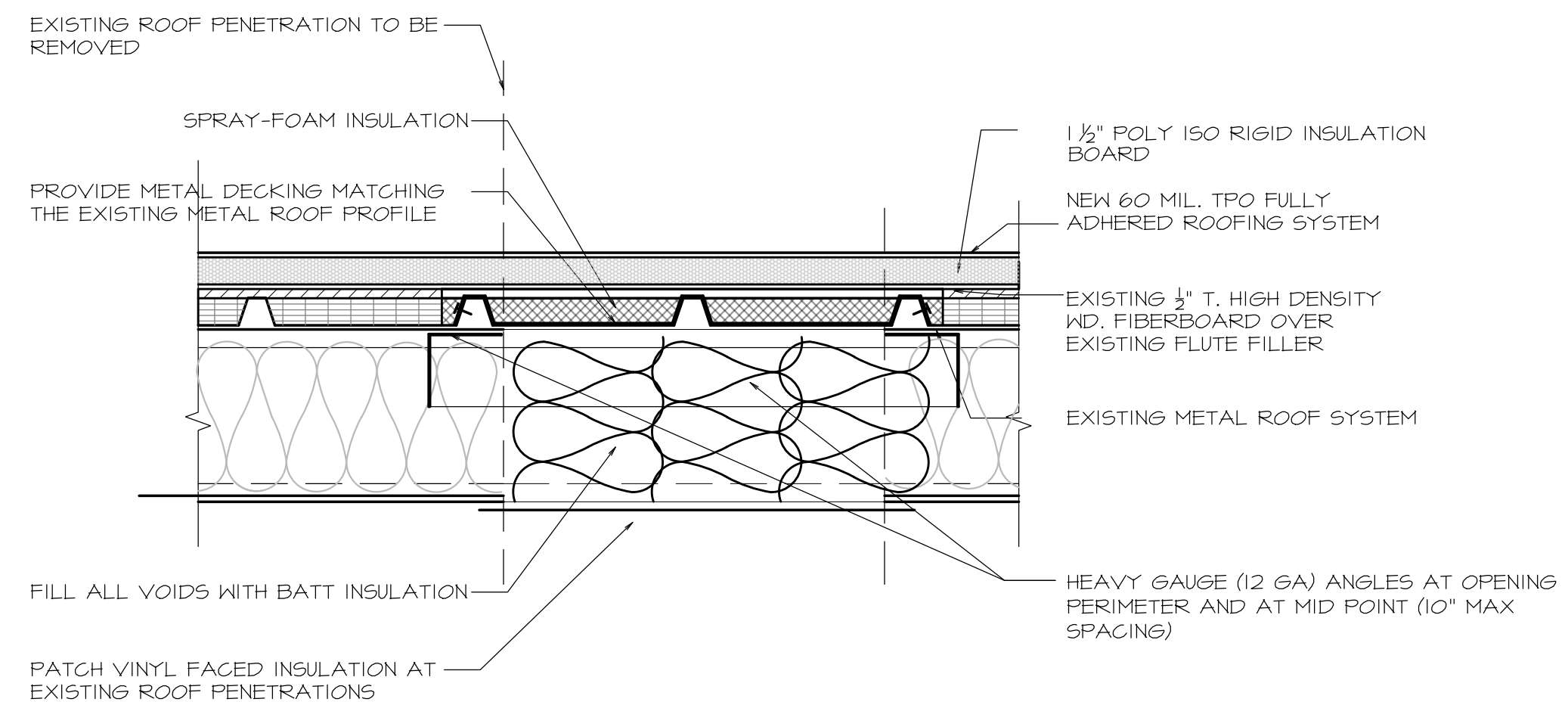
9 Field Fabricated Pipe Flashing
Scale: 1-1/2" = 1'-0"



10 Pre-Molded Pipe Boot
Scale: 1-1/2" = 1'-0"



11 Typical Roof Penetration Cap/Patch Detail
Scale: 1-1/2" = 1'-0" OPENINGS 10" OR LESS



12 Typical Roof Penetration Cap/Patch Detail
Scale: 1-1/2" = 1'-0" OPENINGS 10" OR MORE

**Maintenance Building
Renovation**

Capital Project No.
2102

for



Rockford, Illinois

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Project No. 2025-16

Scale

AS INDICATED

Sheet Title

**ELECTRICAL FIRST
FLOOR PLAN**

Ref. North Sheet No.

E-300

PROFESSIONAL DESIGN FIRM REGISTRATION #
184-003342

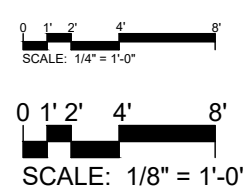
FIELD VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO INSTALLATION. NOTIFY OWNER REPRESENTATIVE AND ARCHITECT OF ANY EQUIPMENT DEVIATIONS.

REFERENCE DRAWING
E-100 FOR KEY NOTES

NOT IN
CONTRACT

2 ENLARGED FIRST FLOOR ELECTRICAL ROOM
SCALE: 1/4" = 1'-0", WHEN PRINTED ON 36"x24" (ARCH D)

1 FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/8" = 1'-0", WHEN PRINTED ON 36"x24" (ARCH E1)



Four Rivers Sanitation Authority
Maintenance Building Renovation, Capital Project No. 2102
Bid Doc. No. 27-406
Mandatory Pre-Bid Meeting Minutes
Thursday, July 9, 2026, 10:00 a.m.
Graceffa Administration Building, 3501 Kishwaukee Street, Rockford, IL

I. Introduction

- a. Attendance: Sign-in sheet. **Reference attached sign-in sheet.**
- b. The Maintenance Building Renovation (Capital Project No. 2102) consists of roof replacement, interior ceiling demolition and replacement, curtain wall removal and replacement with a storefront system, concrete floor repair work, existing hydraulic lift removal and hydraulic equipment relocation, demolition and replacement of HVAC equipment, and all other work as indicated on the plans and in the specifications. Alternates include furnishing and installing heat pump units in lieu of cooling only condensing units, installation of a hard-coat EIFS system, and exterior painting.
- c. Project Design Team:
 - i. Architect: Blakemore Architects, Inc.
 - ii. Structural Engineer: CORE 4 Engineering, Inc.
 - iii. MEP Engineer: Oxford Engineering
 - iv. Civil Engineer: Four Rivers Sanitation Authority
- d. All questions during the bidding phase can be directed to FRSA, Nikelle Synove at 815-387-7682; nsynove@fourrivers.illinois.gov.

II. Bidding

- a. Bids are due no later than 10:00 a.m. on Tuesday, July 21, 2026, at FRSA's Administration Building (3501 Kishwaukee Street, Rockford, Illinois), at which time they will be publicly read aloud. Bids must be placed in the bid box prior to the stated time. **Contractor requested bid opening be changed from 10:00 a.m. to 2:00 p.m. Addendum No. 1 reflects time change.**
- b. All submitted bids shall include the following:
 - i. Completed Proposal with all Addenda (if applicable) acknowledged.
 1. Lump Sum Amount
 2. Alternates
 - a. A-1: Includes work to furnish and install EIFS belt-course, including removal of existing metal siding and base flashing.
 - b. A-2: Includes work associated with exterior painting of metal siding, hollow metal and overhead doors, door frames, and pre-finished metal trim.

- c. M-2: Includes work associated with furnishing and installing heat pump units in lieu of cooling only condensing units

3. Unit Prices

- a. Concrete floor crack repair
- b. Concrete floor spall repair
- c. Concrete floor full-depth repair
- d. Relocate existing duplex outlet below its current location for a distance of 12” into new EIFS belt-course under Alternate A-1.
- ii. Completed FRSA Bid Bond form with an acceptable Bid Security in the amount of five percent (5%).
- iii. Fair Employment Practices Affidavit of Compliance.
- iv. Affidavit of Compliance: Responsible Bidder Ordinance. **Note that No.5 requires evidence of participation.**
- v. Contractor Statement of Qualifications per Instructions to Bidders, Section 3.8.
- c. Bids will be considered upon the basis of the lowest sum responsive and responsible bid. Bidder’s responsiveness will be based upon the timely receipt of the bid; responsibility will be based upon the Statement of Qualifications and correct submission and execution of all required documents in accordance with the bid documents.
- d. The project will be awarded, if at all, to a single bidder. FRSA reserves the right to reject any and all bids.
- e. Important Dates:
 - i. Last day to send questions: July 16, 2026
 - ii. Last day for an addenda to be issued: July 17, 2026
 - iii. Project expected to be awarded at the next Board Meeting currently scheduled for: July 27, 2026
 - iv. Completion date: January 15, 2027
- 1. Liquidated damages are \$300 per calendar day.

III. Permits

- a. City of Rockford Building Permit: Submitted by Blakemore for FRSA.

IV. Maintenance Building (Building No. 8)

- a. The building must be kept in continuous operation throughout construction.
- b. Employee offices will be temporarily relocated. Contractor to coordinate timing with FRSA.
- c. Contractor to coordinate removal and rearrangement of equipment and materials with FRSA.

- d. The Contractor will be permitted to use limited areas around the Maintenance Building for storage, material lay-down, parking, etc.
 - i. Contractor parking south of Maintenance Building away from building.
 - ii. Storage, lay-down, etc. in grass area south of Maintenance Building.
 - iii. Construction trailers, Conex, etc. to be placed in lot north of AGS facility.
 - iv. Following construction, the area should be restored to the original condition.
 - e. Temporary sanitary facilities shall be provided by the Contractor.
 - f. The hours the Contractor may work are 7:00 a.m. to 4:00 p.m., Monday through Friday, excluding holidays.
 - i. To work outside the above-mentioned hours, on Saturdays, Sundays, or holidays, the Contractor shall submit a written request 48 hours in advance of the proposed work.
 - ii. FRSA holidays falling within the Contract timeframe include Labor Day (September 7, 2026), Indigenous Peoples/ Columbus Day (October 12, 2026), Veterans Day (November 11, 2026), Thanksgiving Day (November 26, 2026), Friday after Thanksgiving (November 27, 2026), Christmas Eve (December 24, 2026), Christmas Day (December 25, 2026), and New Years Day (January 1, 2026)
 - g. Other FRSA projects near the Maintenance Building will be under construction simultaneously. Coordinate storage, parking, etc. with FRSA.
- V. Proposed Work. Detailed plan review and discussion of the following work.
 - a. Architectural
 - b. Civil Site Improvements
 - c. Structural
 - d. HVAC and Mechanical
 - e. Electrical
- VI. Questions and Clarifications
- VII. Site Visit
 - a. Reference route map.



Maintenance Building Renovation, Capital Project No. 2102

Pre-Bid Meeting Sign-In Sheet

3501 Kishwaukee Street, Rockford, Illinois

July 9, 2026 @ 10:00 a.m.

Name	Representing	Phone	Email
Nikelle Synove	Four Rivers Sanitation Authority	815-543-2775	nsynove@fourrivers.illinois.gov
Angie Good	Four Rivers Sanitation Authority	815-387-7662	agood@fourrivers.illinois.gov
Matthew Campbell	Four Rivers Sanitation Authority	815-387-7684	mcampbell@fourrivers.illinois.gov
Lee Aschim	Four Rivers Sanitation Authority	815-543-7983	L.Aschim@fourrivers.illinois.gov
Brian Blakemore	Blakemore Architects	815-988-0315	Brian@Blakemore-Architects.com
David Aftone	Morse, Ele.	608-904-8931	David.Aftone@themorsegroup.com
Mark Fager	M.D. Remond Trench	815-963-8950	mcfager@mdremondtrench.com
Kevin Gueliviza	Scandora Construction	815-962-4037	ESTIMATE@SCANDORA.COM
JAMIN UNDER	SCANDORA CONSTRUCTION	815-962-4037	ESTIMATE@SCANDORA.COM
Madge Kinnitt	SOSTMAN & SONS	815-224-0330	estimating@stationconstruction.com
Dave Davies	STENSTROM	815-509-7554	DAVE@STENSTROM.COM
Brian Sharp	RLVP	815-877-9581	106611stervally@comcast.net
Alex Soelmon	RAVP	815-209-5225	Alex@RockRiverValleyPaving.com
Alyssa Daab	RSCC	815-633-6161	estimating@rockvalleystructures.com
Mark Jager	Sterling Teosling	815-945-0001	mberger@stercamerica.com
Jacob Yoden	Pieter Electric	608-282-1884	jacob.yoden@pieter-electric.com
Scott Davis	HOFMEIER-MECHANICAL	815-378-0172	SCOTT.DAVIS@HOFMEIER-MECHANICAL.COM
Farm Kuehne	PFI Construction	815-378-4244	Ryaned@pficonstruction.com
Todd Byrke	Miller Engineering	815-963-4878	TByrke@mlerengr.com
Charlie Grant	Premier Design + Build	708-533-4466	charles.grant@PDBuild.com